

LEGEND & LAND BUDGET

Total Site Area	85.571Ha
Drainage Reserve	4.055Ha
Conservation Reserve	12.927Ha
Public Open Space	3.279Ha
Net Developable Area	65.310Ha
Total Net Residential Area	44.400Ha
Total Number of Lots	790 Lots
Average Lot Size (Overall)	562m ²
Average Lot Size (Conventional Density Lots)	688m ²
Dwelling Density (Dw/NDAHa)	12.1
Childcare Centre	0.204Ha
Local Convenience Centre	0.800Ha
Landscape / Tree Reserve	0.924Ha
Landscaped Road Reserve	0.068Ha
Road Network Area	18.916Ha

- Trees to be retained (Tree ID)
- Trees to be retained in lot (Tree ID)
- Trees to be removed (Tree ID)
- Native Vegetation to be retained
- Potential Residential Retirement Lifestyle Living Community
- 2m High Timber Acoustic Paling Fence
- Exclusion Fencing SRW Land
- 400m Walkable Catchment
- Residential Catchment (LCC Centroid)
- Shared Path Network
- Connector Road_Bus Route (24m)
- Local Access Street_Level 2 (18-20m)
- Local Access Street_Level 1 (14-18m)
- Contours (1m Intervals)

LOT SIZE & DENSITY

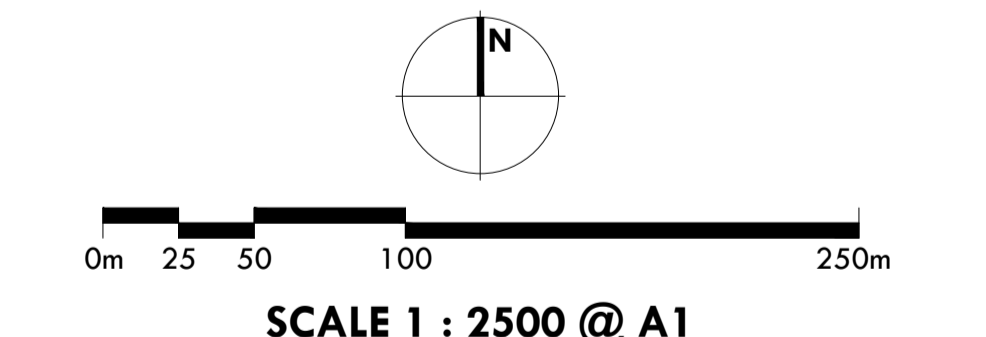
Townhouse (Less than 300m ²)	178	22.5%
Medium Density (Less than 500m ²)	175	22.2%
Conventional Density (500-799m ²)	288	36.5%
Conventional Density (800-1500m ²)	114	14.4%
Total	755	100%

REVISIONS

REV	DATE	COMMENTS	CKD
16	30/01/2023	LAYOUT AMENDED & RESIDENTIAL CATCHMENTS ADDED	JC
15.1	25/11/2022	CONSERVATION RESERVE AMENDED	JC
15	23/11/2022	LAYOUT AMENDED	JC
14	24/10/2022	LAYOUT AMENDED	JC
8	24/05/2022	PLAN UPDATED	MA
7	06/04/2022	LAYOUT AMENDED	JC
6	05/04/2022	LAYOUT AMENDED	JC

NOTES

- THIS PLAN IS FOR PRELIMINARY USE ONLY
- ANY PROPOSED DEVELOPMENT IS SUBJECT TO APPROVAL BY THE RESPONSIBLE AUTHORITY.
- PROPOSED LOT BOUNDARIES AND AREAS SHOWN ARE SUBJECT TO FINAL SITE SURVEY.
- THIS PLAN IS PRODUCED FOR YIELD AND COSTING PURPOSES ONLY AND MAY CHANGE AS A RESULT OF FURTHER CONSULTATION WITH THE RESPONSIBLE AUTHORITIES.



89 ROSS WATT ROAD GISBORNE DEVELOPMENT PLAN

Project No. 7213
Drawing Ref. 7213_UD_DP02_V16

BREESE PITT DIXON

CIVIL ENGINEERS
LAND SURVEYORS
TOWN PLANNERS
URBAN DESIGNERS
LANDSCAPE ARCHITECTS

1/19 CATO ST HAWTHORN EAST, VICTORIA, 3123.
PH (03) 8823 2300
FAX (03) 8823 2310
www.bpd.com.au

PREPARED UNDER A QUALITY SYSTEM CERTIFIED COMPLYING WITH ISO 9001

Residential Catchments	200m	400m	Outer	Total
Catchment Area	12.500	33.659	39.412	85.571
Drainage Reserve			4.055	4.055
Conservation Reserve		0.641	12.286	12.927
Public Open Space	1.175	1.473	0.631	3.279
Net Developable Area (NDAHa)	11.325	31.545	22.440	65.311
Net Residential Area (Ha)	6.312	22.448	15.640	44.400
Number of Lots	172	400	218	790
Average Lot Size (m²)	367	561	717	562
Dwelling Density (Dw/NDAHa)	15.2	12.7	9.7	12.1

LOT DENSITY GENERAL COMMENTS:
Density has been focused primarily around the central LCC & POS reserves.

2m High Timber &/or Cyclone Exclusion Fencing To Prevent Access To Southern Rural Water Land. Exclusion Signage To Be Installed Along Public Interfaces

Notation showing the provision of 2m high fencing along the interface between SRW land & Development. Yellow line on the Masterplan indicates the location & extent of fencing to be provided

Landscape Reserve 0.090Ha (0.032Ha Native Vegetation to be retained)

Landscape Reserve 0.036Ha (6m Wide SRW Maintenance Access. Existing Gate to be Relocated)

ROSSLYNNE RESERVOIR

JACKSONS CREEK

JACKSONS CREEK

SKYLINE DRIVE

Potential Residential Retirement Lifestyle Living Community 6.49Ha

CHERRY LANE

SWINBURNE AVENUE

ROSS WATT ROAD

CALDER FREEWAY

Conservation Reserve 0.701Ha (0.387Ha Native Vegetation to be retained)

2m High Timber Acoustic Paling Fence To be Landscaped by ID Land

Landscape Reserve 0.025Ha

Racecourse Marshlands Reserve

Landscape Reserve 0.059Ha

Conservation Reserve 0.231Ha (0.156Ha Native Vegetation to be retained)

Increase of Public Open Space reserve area to retain additional Trees

Tree Reserve 0.245Ha

Public Open Space 1.572Ha

Public Open Space 0.731Ha

CC 0.20Ha LCC 0.80Ha

Public Open Space 0.976Ha

Drainage Reserve 1.71Ha

Landscape Reserve 0.007Ha

Tree Reserve 0.219Ha

Landscape Reserve 0.019Ha

Drainage Reserve 2.35Ha

Jacksons Creek Conservation Reserve 11.995Ha (Native Vegetation to be retained) 7.226Ha

Proposed Sewer Pump Station

Road widths widening to accommodate pathway in road & not in conservation area where practical

Provision of a 6m wide maintenance access track to the existing gate to SRW property.

Creation of reserve over existing patch native vegetation for retention.

Indicative Layout Only by Others

Road Reserve To Be Landscaped By Developer For Future Road Connection (0.068Ha)

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

Creation of tree reserve retain existing tree

LCC area increased

Density Ring 200m from LCC added

Density Ring 400m from LCC added

Road layout in Townhouse area shown

Inclusion of Shared pathway within drainage reserve

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Retention of existing tree in large residential lot.

Location changed from north western edge of site to here. Move was to shift location away from sensitive rural interface

Reclassification of POS & drainage reserve to Conservation reserve along Jacksons Creek. Native vegetation to be retained, enhanced & managed.

LEGEND UPDATED