



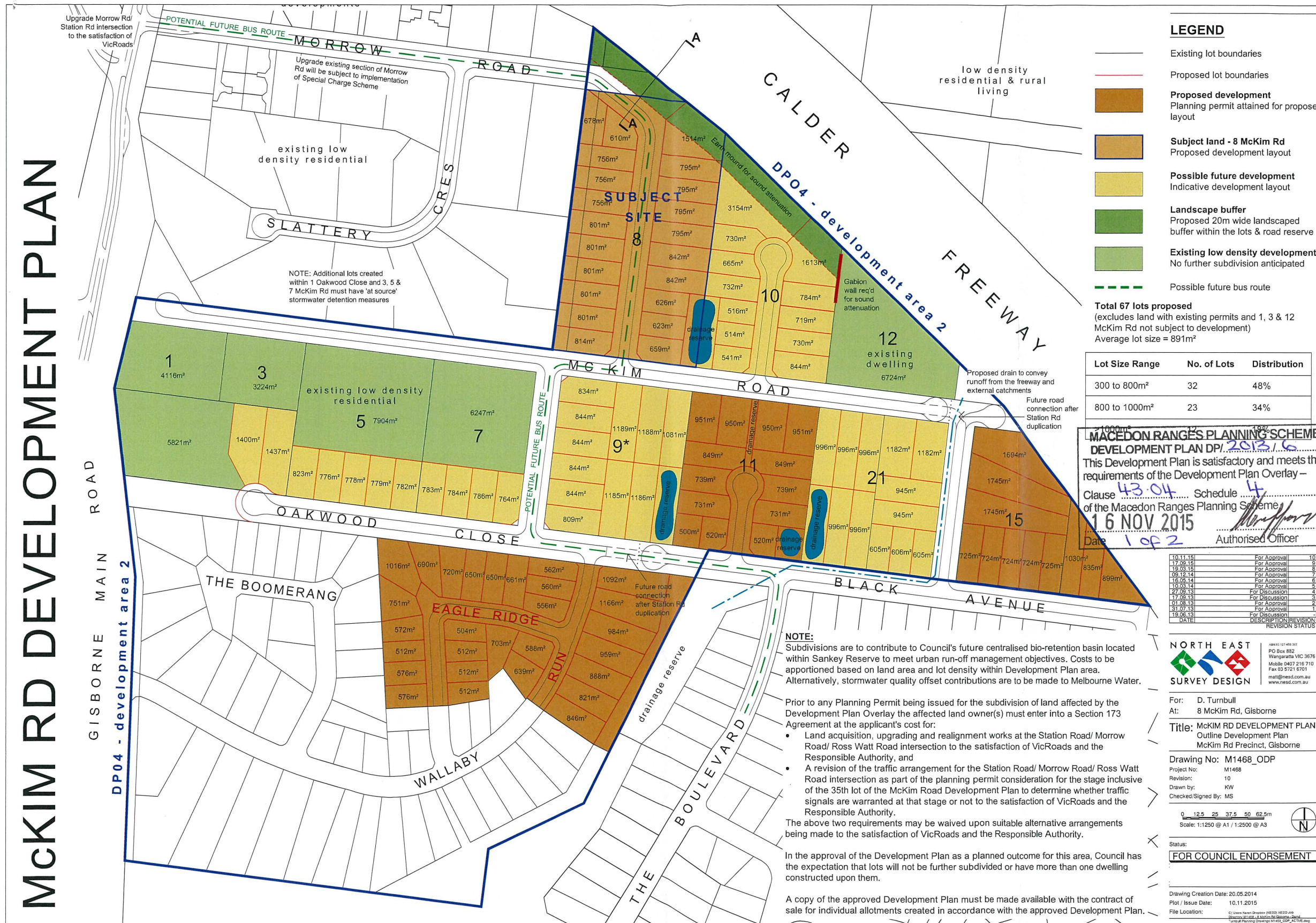
**Macedon
Ranges**
Shire Council

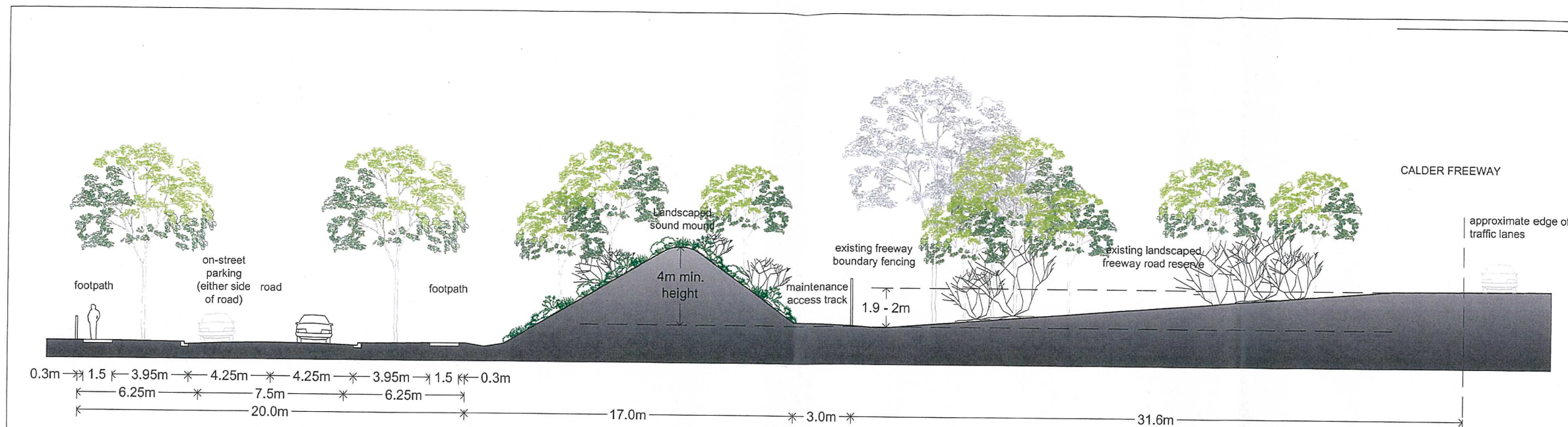
ATTACHMENTS

**Council Meeting
Wednesday 15 December 2021**

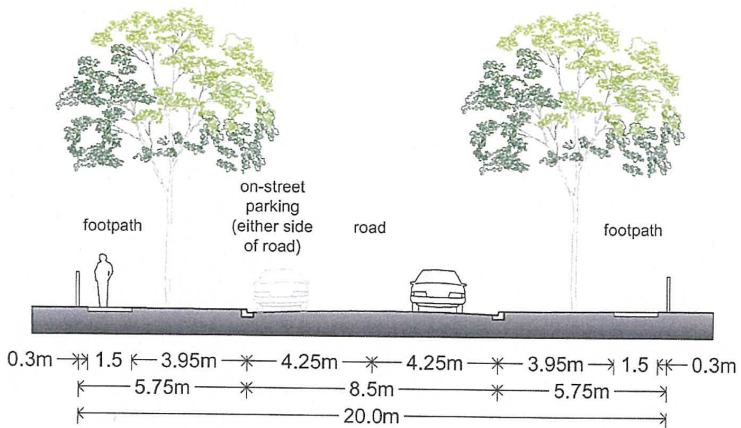
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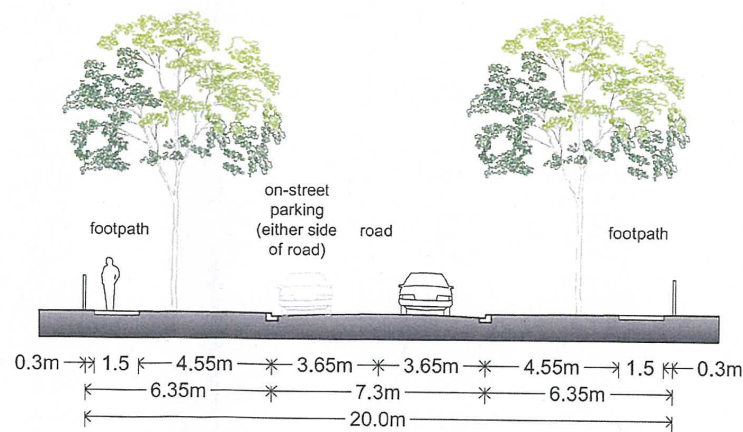




section A - A
Indicative sound mound section



Bus Route
Indicative section



Typical Street
Indicative section

MACEDON RANGES PLANNING SCHEME
DEVELOPMENT PLAN DP/.../2013/6
This Development Plan is satisfactory and meets the requirements of the Development Plan Overlay -
Clause 43-04 Schedule 4
of the Macedon Ranges Planning Scheme
16 NOV 2015
Date 2012 Authorised Officer

NO	DATE	DESCRIPTION	REVISION STATUS
19.03.14		For Approval	3
06.12.14		For Approval	2
04.03.14		For Approval	1
22.03.13		For Approval	1

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For: D. Turnbull
At: 8 McKim Rd, Gisborne
Title: MCKIM RD DEVELOPMENT PLAN
Indicative sections

Drawing No: M1468_SE1
Project No: M1468
Revision: 3
Drawn by: KW
Checked/Signed By: MS

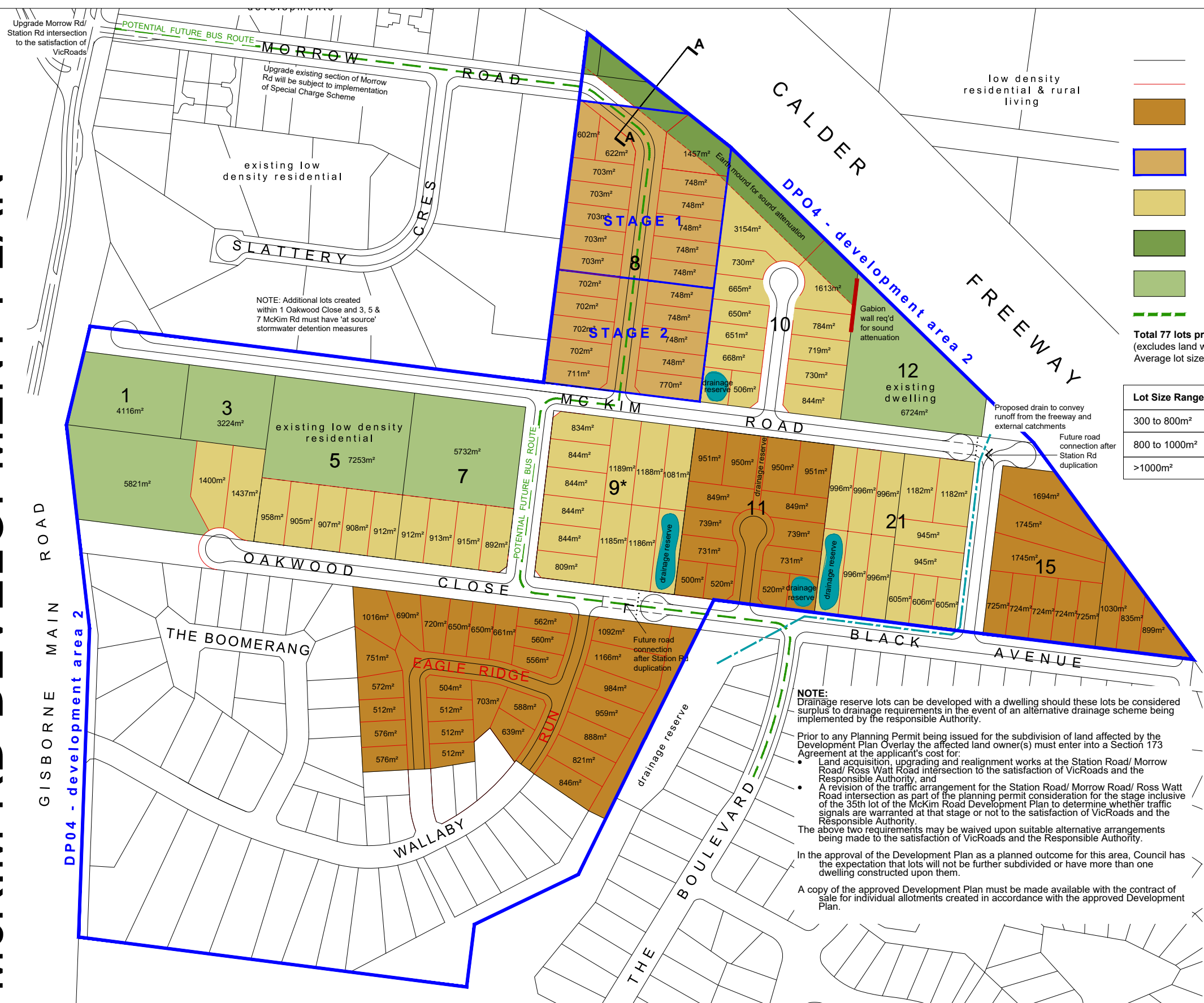
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Status:
FOR COUNCIL ENDORSEMENT

Drawing Creation Date: 20.05.2014
Plot / Issue Date: 19.03.2015
File Location: C:\Users\Nathan\Desktop\PROJECTS\M1468_SE1\1468_SE1.dwg

SECTIONS

MCKIM RD DEVELOPMENT PLAN



LEGEND

- Existing lot boundaries
- Proposed lot boundaries
- Proposed development**
Planning permit attained for proposed layout
- Subject land - 8 McKim Rd**
Proposed development layout
- Possible future development**
Indicative development layout
- Landscape buffer**
Proposed 20m wide landscaped buffer within the lots & road reserve
- Existing low density development**
No further subdivision anticipated
- Possible future bus route

Total 77 lots proposed
(excludes land with existing permits)
Average lot size = 1,264m²

Lot Size Range	No. of Lots	Distribution
300 to 800m ²	34	44%
800 to 1000m ²	24	31%
>1000m ²	19	25%

DATE	DESCRIPTION	REVISION
24.08.21	For Approval	19
10.05.21	For Approval	11
10.11.15	For Approval	10
17.09.15	For Approval	9
19.03.15	For Approval	8
09.12.14	For Approval	7
16.05.14	For Approval	6
10.03.14	For Approval	5
27.09.13	For Discussion	4
17.09.13	For Discussion	3
01.08.13	For Approval	2
31.07.13	For Approval	1
19.06.13	For Discussion	0
	DATE	DESCRIPTION

NOTE: Drainage reserve lots can be developed with a dwelling should these lots be considered surplus to drainage requirements in the event of an alternative drainage scheme being implemented by the responsible Authority.

Prior to any Planning Permit being issued for the subdivision of land affected by the Development Plan Overlay the affected land owner(s) must enter into a Section 173 Agreement at the applicant's cost for:

- Land acquisition, upgrading and realignment works at the Station Road/ Morrow Road/ Ross Watt Road intersection to the satisfaction of VicRoads and the Responsible Authority, and
- A revision of the traffic arrangement for the Station Road/ Morrow Road/ Ross Watt Road intersection as part of the planning permit consideration for the stage inclusive of the 35th lot of the Mckim Road Development Plan to determine whether traffic signals are warranted at that stage or not to the satisfaction of VicRoads and the Responsible Authority.

The above two requirements may be waived upon suitable alternative arrangements being made to the satisfaction of VicRoads and the Responsible Authority.

In the approval of the Development Plan as a planned outcome for this area, Council has the expectation that lots will not be further subdivided or have more than one dwelling constructed upon them.

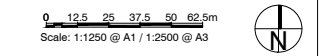
A copy of the approved Development Plan must be made available with the contract of sale for individual allotments created in accordance with the approved Development Plan.

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For: D. Turnbull
 At: 8 McKim Rd, Gisborne

Title: MCKIM RD DEVELOPMENT PLAN
 Outline Development Plan
 McKim Rd Precinct, Gisborne

Drawing No: M1468_ODP
 Project No: M1468
 Revision: 12
 Drawn by: KW
 Checked/Signed By: MS



Status: **FOR COUNCIL ENDORSEMENT**

Drawing Creation Date: 24.08.2021
 Plot / Issue Date: 25.08.2021
 File Location: N:\NEED Job Directory\M1468 - 8 McKim Rd
 @Gisborne_Gisborne
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Consistency of a proposal with the Statement of Planning Policy: DP/2013/6/A – McKim Road Development Plan.

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
1	To ensure the declared area's natural and cultural landscapes are conserved and enhanced.					
		Manage land use, development and infrastructure to ensure that significant landscapes, views and vantage points are conserved and enhanced.	✓			The proposal is considered to appropriately manage land use, significant landscapes, views and vantage points in consideration of the DPO4 and State and Local Policy.
		Encourage retention of native vegetation and revegetation that contributes to significant landscapes, particularly on escarpments and ridgelines and along riparian areas.	✓			No vegetation will be removed to accommodate the amended development plan.
		Manage development around significant landscapes of visual, scientific or education value, including along ridgelines and at vantage points.	✓			There are no applicable ridgelines applicable to the subject site.
		Manage development and infrastructure provision to ensure sequences of views from key road and rail corridors are maintained for current and future users.	✓			The Development Plan seeks to ensure development does not impact on any view sequences from key roads or rail corridors.
2	To ensure the significant biodiversity, ecological and environmental values of the declared area are conserved and enhanced					
		Conserve and enhance high-value native vegetation and biodiversity and their ecological integrity by undertaking responsible environmental management, planning, procedures and practices.	✓			There are no areas of high-value native vegetation or biodiversity within the land applicable to the proposed amendment land.
		Utilise appropriate historical ecological knowledge and practices from Traditional custodians of the land in the management of biodiversity and ecological and environmental values.			N/A	
		Encourage ecological restoration works in areas of identified state, regional and locally significant biodiversity value			N/A	
		Establish and improve bio links to connect high-value ecological areas, including areas along waterways and areas within and between towns.			N/A	
		Minimise the effects of weeds and pest animals on biodiversity values by establishing and			N/A	

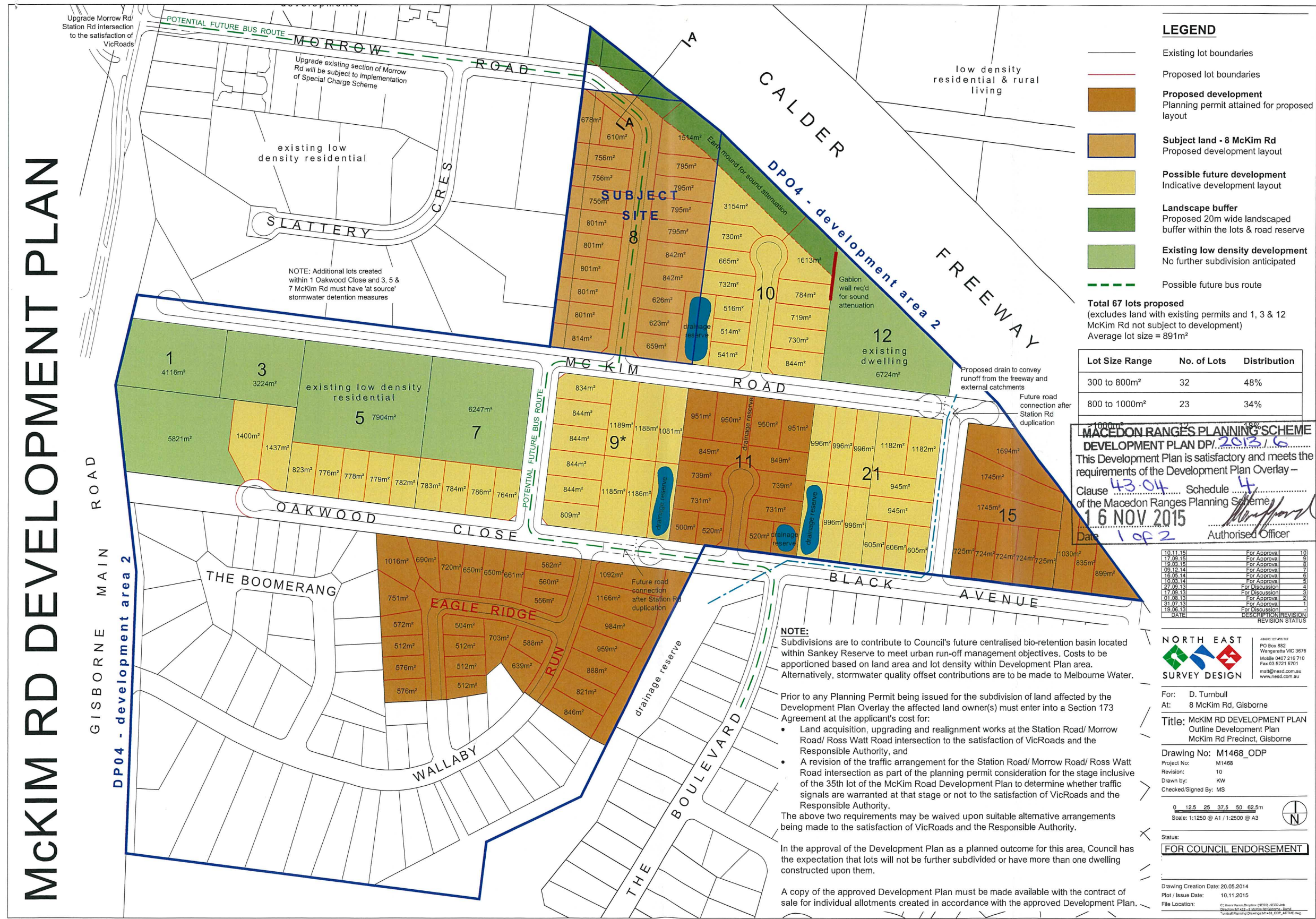
Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		implementing best practice land management plans.				
3.	To prioritise the conservation and use of the declared area's water catchments to ensure a sustainable local, regional and state water supply, and healthy environment.					
		Protect water quality and natural systems by discouraging development that contributes to the degradation of water quality and quantity.	✓			The Development Plan seeks to ensure stormwater and runoff does not degrade local water quality or quantity.
		Manage land use and development, including dams, in Declared Water Supply Catchments to retain and improve water quality and improve yield to support regional water needs and to increase system-wide capacity to Respond to demand.			N/A	
		Reinforce the role of waterways as biodiversity Linkages and as corridors for native plants and animals.			N/A	
		Ensure water supply and land use planning policies are integrated, to realise efficiencies in regional catchment management and best practice, water-sensitive urban design.			N/A	
		Address the expected impacts of climate change, including changes in the duration and frequency of rainfall events and changes in the intensity and frequency of bushfire events.			N/A	
		Review and improve regulation and monitoring of groundwater licences and surface water diversions.			N/A	
4.	To recognise, protect, conserve and enhance the declared area's Aboriginal cultural and spiritual heritage values and work in partnership with Traditional Owners in caring for Country.					
		With Traditional Owners, identify, protect, conserve and enhance sites, landscapes and views of Aboriginal cultural significance, consistent with the Aboriginal Heritage Act 2006 and Cultural Heritage Management Plans.			N/A	

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		With Traditional Owners, acknowledge, protect, promote and interpret tangible and intangible Aboriginal cultural values, heritage and knowledge when planning and managing land use and development, water and other environmental resources.			N/A	
5.	To recognise, conserve and enhance the declared area's significant post-contact cultural heritage values.					
		Conserve and enhance the character of state and/or nationally significant post-contact cultural heritage values (including aesthetic, historic, scientific, social and spiritual values) in the declared area's heritage places, precincts and landscapes, including sequences of views along main road and rail routes.	✓			It is considered the proposed development achieves this objective and does the approval of the plan would not adversely impact on adjoining heritage values.
		Acknowledge, promote and interpret significant post-contact cultural heritage values in the planning, design, development and management of land uses, including infrastructure.			N/A	
6.	To support and encourage agricultural land uses that strengthen the declared area's economy and contribute to the rural landscape.					
		Encourage the use of rural-zoned land for agricultural purposes and encourage the use of high-quality soils for soil-based agriculture.			N/A	
		Encourage and support innovations in agricultural practices (such as sustainable farming, water reuse, technologies to enable farming to adapt and respond to emerging and niche markets).			N/A	
		Support agricultural practices that improve soil health and respond to and encourage adaptation to climate change.			N/A	
		Encourage measures to ensure agricultural practices protect and enhance soil quality, water quality, biodiversity and native plants and animals.			N/A	
		Manage the effects of rural land use and development on important environmental and cultural values.			N/A	

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		Restrict the supply of rural-living-zoned land to conserve and protect agricultural practices.			N/A	
		Protect strategic extractive resource areas and existing quarry operations from encroachment from inappropriate development.			N/A	
		Proposals to establish an extractive industry must adhere to best practice measures to avoid and minimise impacts on significant environments and landscapes.			N/A	
7.	To provide for a diverse and sustainable visitor economy compatible with the natural and cultural values of the area.					The subject land is designated to residential development and does not anticipate commercial land uses.
		Support and facilitate sustainable and responsible tourism and recreation-related land uses and developments (such as agritourism) in keeping with the declared area's significant landscapes, environmental and cultural values.			N/A	
		Facilitate tourism-related land use and development that encourages people to recognise and understand Aboriginal and post-contact cultural heritage.			N/A	
		Ensure the conservation and enhancement of Declared Water Supply Catchment Areas of regional or state significance in the planning of tourism and recreational land uses.			N/A	
		Protect the unique rural character of towns in the declared area.	✓			The Development Plan appropriately responds to the emerging character of the McKim Road area.
8.	To plan and manage growth of settlements in the declared area consistent with protection of the area's significant landscapes, protection of catchments, biodiversity, ecological and environmental values, and consistent with the unique character, role and function of each settlement.		✓			
		Direct urban development to a hierarchy of settlements identified for growth, through clearly defining long-term settlement boundaries.	✓			The proposed development plan is in accordance with the settlement hierarchy and within the settlement boundaries of Gisborne.

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		Direct rural residential development to rural-living-zoned land as provided for in the Macedon Ranges Council's rural living strategy, In the Rural Living Zone – Strategic Direction (2015).			N/A	
		Encourage infill development that respects the townships' character.	✓			The Development Plan is considered to be appropriate to the character of Gisborne.
		Limit the expansion of settlements in high risk locations, actively reducing the risks associated with natural hazards.	✓			The Development Plan will contribute to an improved interface with bushfire prone land.
		Encourage a range of housing types within settlement boundaries to support a diverse range of housing needs.	✓			The Development Plan will provide for both low density and conventional development opportunities within the provisions of the DPO24.
		Encourage provision of an adequate supply of well-serviced employment land within settlement boundaries to support local and regional jobs and services.			N/A	
		Encourage the use of voluntary Cultural Heritage Management Plans.		✓		A voluntary Cultural Heritage Management Plan was not provided.
9.	To manage the provision of infrastructure consistent with protection of the area's significant landscapes and protection of environmental values to support the social and economic needs of communities and increase resilience to climate change effects.					
		Provide timely infrastructure and services to meet community needs in sequence with development.	✓			The Development plan includes appropriate infrastructure delivery and staging.
		Maintain and enhance transport connections that provide links between and within regional communities and to major cities.	✓			The amended Development plan does not impact on existing connections.
		Reduce use of fossil fuels and reduce greenhouse gas emissions by prioritising active transport and public transport modes.			N/A	The Development Plan provides for a bus access route.
		Maintain view lines of state-significant landscape features from the main road and rail transport corridors.	✓			
		Ensure the future operation and development of major transport linkages and rail corridors and			N/A	

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		upgrading and improved management of freight routes are considered when managing the growth of settlements.				
		Ensure equitable access to community infrastructure.			N/A	
		Encourage the use of active and public transport by planning infrastructure and facilities in accessible locations, and improve walking and cycling routes.	✓			The development plan supports the provision of walking paths throughout the development plan area.
10.	Respond to the challenges and threats of climate change and natural hazards with careful planning and mitigation strategies.		✓			The proposal addresses bushfire risk and supports planning for climate resilience.
		Support community and government planning for disaster preparedness and climate resilience.	✓			
		Manage bushfire risks while also retaining valued biodiversity and landscape character.	✓			
		Plan for more renewable energy generation and distribution.			N/A	
		Ensure proposals to establish renewable energy facilities adhere to best practice measures to avoid and minimise impacts on significant environments and landscapes.			N/A	
		Ensure planning for future use and development of land prone to flooding minimises the consequences of inundation.			N/A	



MCKIM RD DEVELOPMENT PLAN

LEGEND

- Existing lot boundaries
- Proposed lot boundaries
- Proposed development**
Planning permit attained for proposed layout
- Subject land - 8 McKim Rd**
Proposed development layout
- Possible future development**
Indicative development layout
- Landscape buffer**
Proposed 20m wide landscaped buffer within the lots & road reserve
- Existing low density development**
No further subdivision anticipated
- Possible future bus route

Total 67 lots proposed
(excludes land with existing permits and 1, 3 & 12 McKim Rd not subject to development)
Average lot size = 891m²

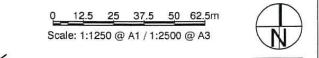
Lot Size Range	No. of Lots	Distribution
300 to 800m ²	32	48%
800 to 1000m ²	23	34%

MACEDON RANGES PLANNING SCHEME DEVELOPMENT PLAN DP/2015/6
This Development Plan is satisfactory and meets the requirements of the Development Plan Overlay -
Clause 43.04 Schedule 4
of the Macedon Ranges Planning Scheme
16 NOV 2015
Date 1 of 2 Authorised Officer *[Signature]*

DATE	DESCRIPTION/REVISION	REVISION STATUS
19.11.15	For Approval	10
17.09.15	For Approval	9
19.03.15	For Approval	8
09.12.14	For Approval	7
16.05.14	For Approval	6
10.03.14	For Approval	5
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19.06.13	For Discussion	-

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For: D. Turnbull
At: 8 McKim Rd, Gisborne
Title: MCKIM RD DEVELOPMENT PLAN
Outline Development Plan
McKim Rd Precinct, Gisborne
Drawing No: M1468_ODP
Project No: M1468
Revision: 10
Drawn by: KW
Checked/Signed By: MS



Status: **FOR COUNCIL ENDORSEMENT**

Drawing Creation Date: 20.05.2014
Plot / Issue Date: 10.11.2015
File Location: C:\Users\North East Design (NESD)\Desktop\Projects\1468 - 8 McKim Rd - Outline Development Plan\Turnbull Planning Drawings\M1468_ODP_ACTIVE.dwg

NOTE:
Subdivisions are to contribute to Council's future centralised bio-retention basin located within Sankey Reserve to meet urban run-off management objectives. Costs to be apportioned based on land area and lot density within Development Plan area. Alternatively, stormwater quality offset contributions are to be made to Melbourne Water.

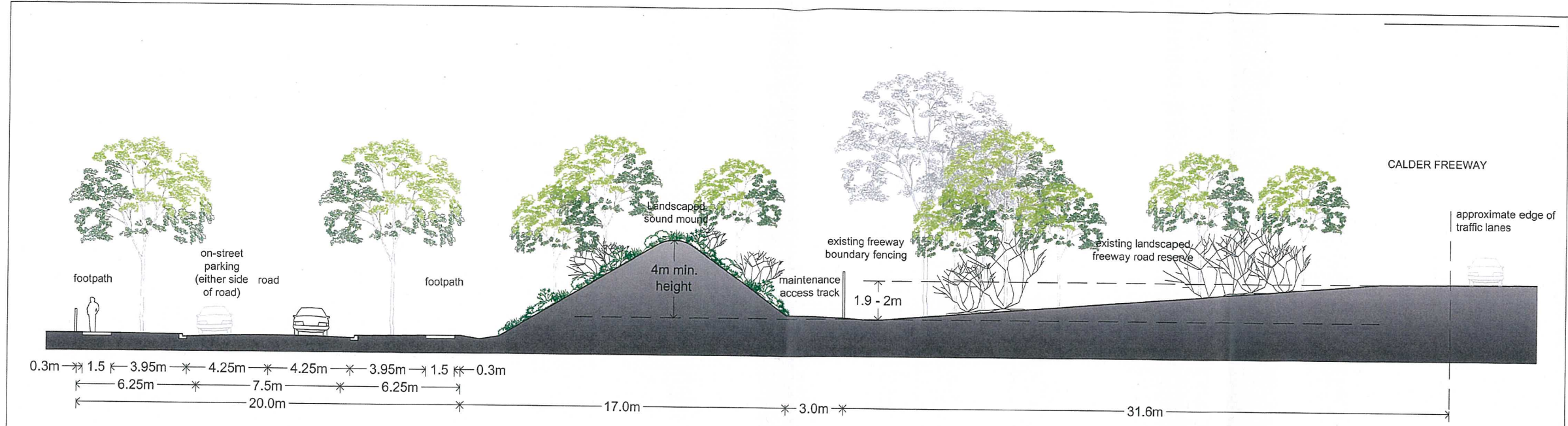
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- Land acquisition, upgrading and realignment works at the Station Road/ Morrow Road/ Ross Watt Road intersection to the satisfaction of VicRoads and the Responsible Authority, and
- A revision of the traffic arrangement for the Station Road/ Morrow Road/ Ross Watt Road intersection as part of the planning permit consideration for the stage inclusive of the 35th lot of the McKim Road Development Plan to determine whether traffic signals are warranted at that stage or not to the satisfaction of VicRoads and the Responsible Authority.

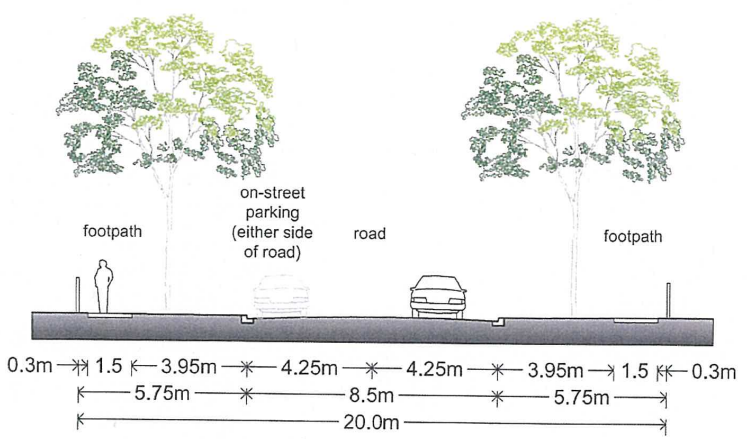
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In the approval of the Development Plan as a planned outcome for this area, Council has the expectation that lots will not be further subdivided or have more than one dwelling constructed upon them.

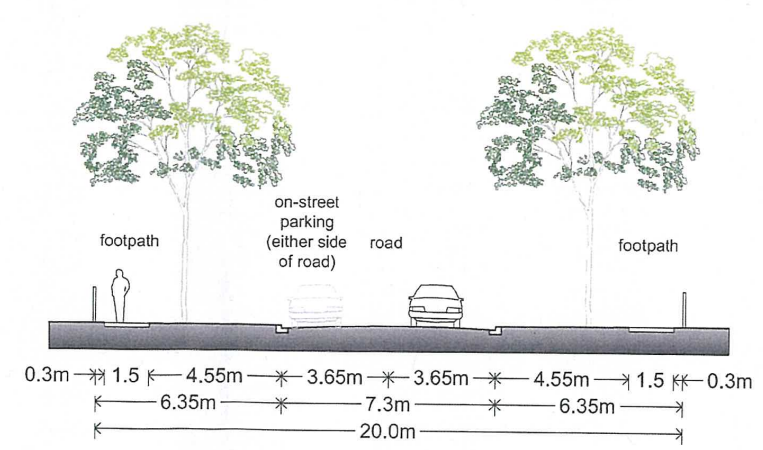
A copy of the approved Development Plan must be made available with the contract of sale for individual allotments created in accordance with the approved Development Plan.



section A - A
Indicative sound mound section



Bus Route
Indicative section



Typical Street
Indicative section

MACEDON RANGES PLANNING SCHEME
DEVELOPMENT PLAN DP/... 2013/6
This Development Plan is satisfactory and meets the requirements of the Development Plan Overlay -
Clause 43-04 Schedule 4
of the Macedon Ranges Planning Scheme
16 NOV 2015
Date 2012 Authorised Officer

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For: D. Turnbull
At: 8 McKim Rd, Gisborne
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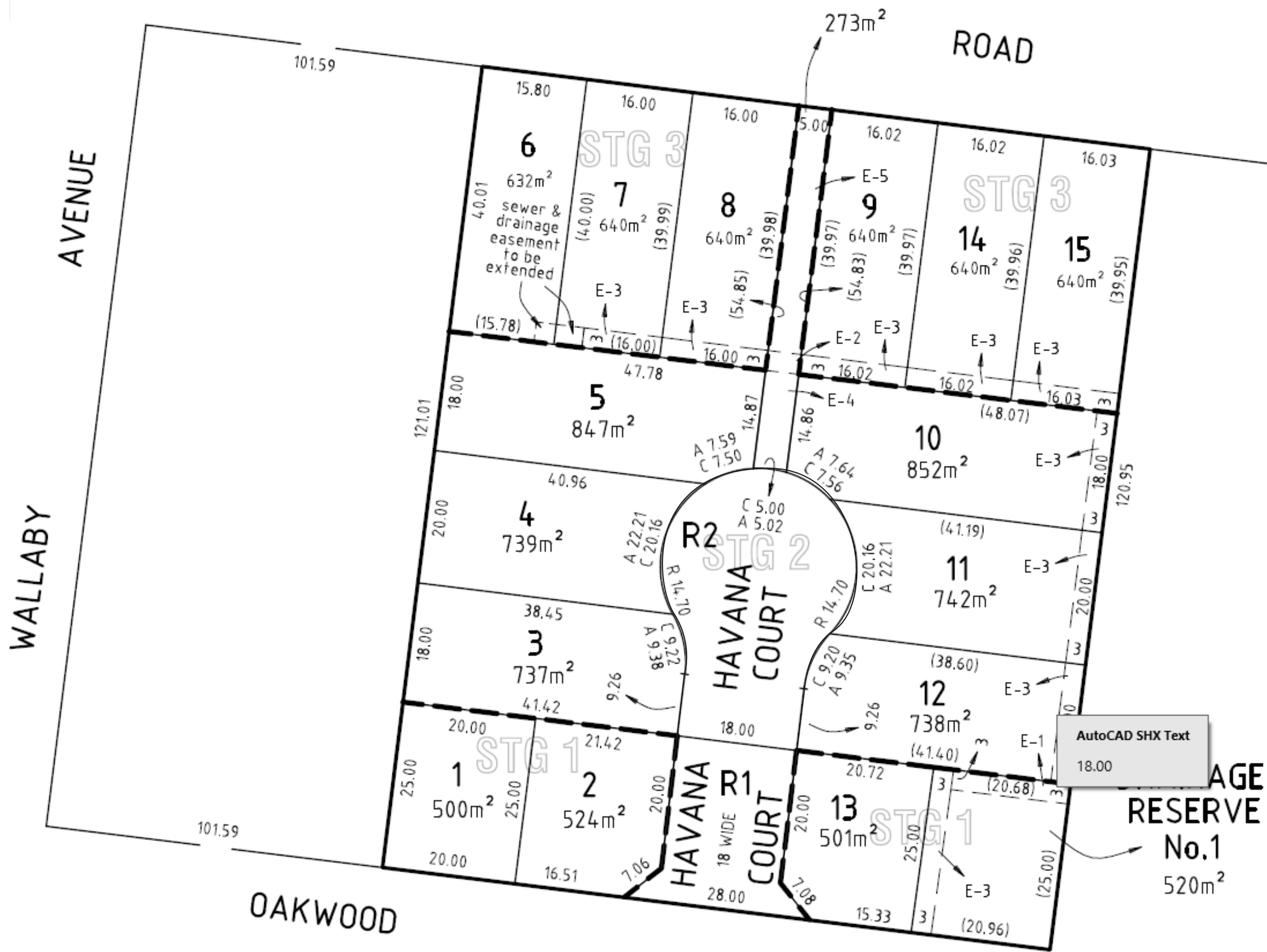
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Revision: 3
Drawn by: KW
Checked/Signed By: MS

Scale: 1:100 @ A1 / 1:200 @ A3

Status:
FOR COUNCIL ENDORSEMENT

Drawing Creation Date: 20.05.2014
Plot / Issue Date: 19.03.2015
File Location: C:\Users\Nathan.Dunlop\Documents\PROJECTS\M1468\1468_SE1.dwg

SECTIONS



Consistency of a proposal with the Statement of Planning Policy: DP/2013/6/B – McKim Road Development Plan.

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
1	To ensure the declared area's natural and cultural landscapes are conserved and enhanced.					
		Manage land use, development and infrastructure to ensure that significant landscapes, views and vantage points are conserved and enhanced.	✓			The proposal is considered to appropriately manage land use, significant landscapes, views and vantage points in consideration of the DPO4 and State and Local Policy.
		Encourage retention of native vegetation and revegetation that contributes to significant landscapes, particularly on escarpments and ridgelines and along riparian areas.	✓			No vegetation will be removed to accommodate the amended development plan.
		Manage development around significant landscapes of visual, scientific or education value, including along ridgelines and at vantage points.	✓			There are no applicable ridgelines applicable to the subject site.
		Manage development and infrastructure provision to ensure sequences of views from key road and rail corridors are maintained for current and future users.	✓			The Development Plan seeks to ensure development does not impact on any view sequences from key roads or rail corridors.
2	To ensure the significant biodiversity, ecological and environmental values of the declared area are conserved and enhanced					
		Conserve and enhance high-value native vegetation and biodiversity and their ecological integrity by undertaking responsible environmental management, planning, procedures and practices.	✓			There are no areas of high-value native vegetation or biodiversity within the land applicable to the proposed amendment land.
		Utilise appropriate historical ecological knowledge and practices from Traditional custodians of the land in the management of biodiversity and ecological and environmental values.			N/A	
		Encourage ecological restoration works in areas of identified state, regional and locally significant biodiversity value			N/A	
		Establish and improve bio links to connect high-value ecological areas, including areas along waterways and areas within and between towns.			N/A	
		Minimise the effects of weeds and pest animals on biodiversity values by establishing and			N/A	

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		implementing best practice land management plans.				
3.	To prioritise the conservation and use of the declared area's water catchments to ensure a sustainable local, regional and state water supply, and healthy environment.					
		Protect water quality and natural systems by discouraging development that contributes to the degradation of water quality and quantity.	✓			The Development Plan seeks to ensure stormwater and runoff does not degrade local water quality or quantity.
		Manage land use and development, including dams, in Declared Water Supply Catchments to retain and improve water quality and improve yield to support regional water needs and to increase system-wide capacity to Respond to demand.			N/A	
		Reinforce the role of waterways as biodiversity Linkages and as corridors for native plants and animals.			N/A	
		Ensure water supply and land use planning policies are integrated, to realise efficiencies in regional catchment management and best practice, water-sensitive urban design.			N/A	
		Address the expected impacts of climate change, including changes in the duration and frequency of rainfall events and changes in the intensity and frequency of bushfire events.			N/A	
		Review and improve regulation and monitoring of groundwater licences and surface water diversions.			N/A	
4.	To recognise, protect, conserve and enhance the declared area's Aboriginal cultural and spiritual heritage values and work in partnership with Traditional Owners in caring for Country.					
		With Traditional Owners, identify, protect, conserve and enhance sites, landscapes and views of Aboriginal cultural significance, consistent with the Aboriginal Heritage Act 2006 and Cultural Heritage Management Plans.			N/A	

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		With Traditional Owners, acknowledge, protect, promote and interpret tangible and intangible Aboriginal cultural values, heritage and knowledge when planning and managing land use and development, water and other environmental resources.			N/A	
5.	To recognise, conserve and enhance the declared area's significant post-contact cultural heritage values.					
		Conserve and enhance the character of state and/or nationally significant post-contact cultural heritage values (including aesthetic, historic, scientific, social and spiritual values) in the declared area's heritage places, precincts and landscapes, including sequences of views along main road and rail routes.	✓			It is considered the proposed development achieves this objective and does the approval of the plan would not adversely impact on adjoining heritage values.
		Acknowledge, promote and interpret significant post-contact cultural heritage values in the planning, design, development and management of land uses, including infrastructure.			N/A	
6.	To support and encourage agricultural land uses that strengthen the declared area's economy and contribute to the rural landscape.					
		Encourage the use of rural-zoned land for agricultural purposes and encourage the use of high-quality soils for soil-based agriculture.			N/A	
		Encourage and support innovations in agricultural practices (such as sustainable farming, water reuse, technologies to enable farming to adapt and respond to emerging and niche markets).			N/A	
		Support agricultural practices that improve soil health and respond to and encourage adaptation to climate change.			N/A	
		Encourage measures to ensure agricultural practices protect and enhance soil quality, water quality, biodiversity and native plants and animals.			N/A	
		Manage the effects of rural land use and development on important environmental and cultural values.			N/A	

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		Restrict the supply of rural-living-zoned land to conserve and protect agricultural practices.			N/A	
		Protect strategic extractive resource areas and existing quarry operations from encroachment from inappropriate development.			N/A	
		Proposals to establish an extractive industry must adhere to best practice measures to avoid and minimise impacts on significant environments and landscapes.			N/A	
7.	To provide for a diverse and sustainable visitor economy compatible with the natural and cultural values of the area.					The subject land is designated to residential development and does not anticipate commercial land uses.
		Support and facilitate sustainable and responsible tourism and recreation-related land uses and developments (such as agritourism) in keeping with the declared area's significant landscapes, environmental and cultural values.			N/A	
		Facilitate tourism-related land use and development that encourages people to recognise and understand Aboriginal and post-contact cultural heritage.			N/A	
		Ensure the conservation and enhancement of Declared Water Supply Catchment Areas of regional or state significance in the planning of tourism and recreational land uses.			N/A	
		Protect the unique rural character of towns in the declared area.	✓			The Development Plan appropriately responds to the emerging character of the McKim Road area.
8.	To plan and manage growth of settlements in the declared area consistent with protection of the area's significant landscapes, protection of catchments, biodiversity, ecological and environmental values, and consistent with the unique character, role and function of each settlement.		✓			
		Direct urban development to a hierarchy of settlements identified for growth, through clearly defining long-term settlement boundaries.	✓			The proposed development plan is in accordance with the settlement hierarchy and within the settlement boundaries of Gisborne.

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		Direct rural residential development to rural-living-zoned land as provided for in the Macedon Ranges Council's rural living strategy, In the Rural Living Zone – Strategic Direction (2015).			N/A	
		Encourage infill development that respects the townships' character.	✓			The Development Plan is considered to be appropriate to the character of Gisborne.
		Limit the expansion of settlements in high risk locations, actively reducing the risks associated with natural hazards.	✓			The Development Plan will contribute to an improved interface with bushfire prone land.
		Encourage a range of housing types within settlement boundaries to support a diverse range of housing needs.	✓			The Development Plan will provide for both low density and conventional development opportunities within the provisions of the DPO24.
		Encourage provision of an adequate supply of well-serviced employment land within settlement boundaries to support local and regional jobs and services.			N/A	
		Encourage the use of voluntary Cultural Heritage Management Plans.		✓		A voluntary Cultural Heritage Management Plan was not provided.
9.	To manage the provision of infrastructure consistent with protection of the area's significant landscapes and protection of environmental values to support the social and economic needs of communities and increase resilience to climate change effects.					
		Provide timely infrastructure and services to meet community needs in sequence with development.	✓			The Development plan includes appropriate infrastructure delivery and staging.
		Maintain and enhance transport connections that provide links between and within regional communities and to major cities.	✓			The amended Development plan does not impact on existing connections.
		Reduce use of fossil fuels and reduce greenhouse gas emissions by prioritising active transport and public transport modes.			N/A	The Development Plan provides for a bus access route.
		Maintain view lines of state-significant landscape features from the main road and rail transport corridors.	✓			
		Ensure the future operation and development of major transport linkages and rail corridors and			N/A	

Objective number	Objective in the SoPP (Direct quote)	Strategies to deliver the objective (Direct quote)	Meets	Does not meet	N/A	Planner's Comment
		upgrading and improved management of freight routes are considered when managing the growth of settlements.				
		Ensure equitable access to community infrastructure.			N/A	
		Encourage the use of active and public transport by planning infrastructure and facilities in accessible locations, and improve walking and cycling routes.	✓			The development plan supports the provision of walking paths throughout the development plan area.
10.	Respond to the challenges and threats of climate change and natural hazards with careful planning and mitigation strategies.		✓			The proposal addresses bushfire risk and supports planning for climate resilience.
		Support community and government planning for disaster preparedness and climate resilience.	✓			
		Manage bushfire risks while also retaining valued biodiversity and landscape character.	✓			
		Plan for more renewable energy generation and distribution.			N/A	
		Ensure proposals to establish renewable energy facilities adhere to best practice measures to avoid and minimise impacts on significant environments and landscapes.			N/A	
		Ensure planning for future use and development of land prone to flooding minimises the consequences of inundation.			N/A	

TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE

Advertised

TOWN PLANNING

SHEET NO.	SHEET NAME
TP000	COVER SHEET + STREET PERSPECTIVE
TP001	SITE ANALYSIS
TP002	DESIGN RESPONSE
TP100	PROPOSED GROUND LEVEL FLOOR PLAN
TP101	PROPOSED LEVEL 1 FLOOR PLAN
TP102	PROPOSED ROOF PLAN
TP103	GARDEN AREA ANALYSIS
TP200	PROPOSED ELEVATIONS
TP201	STREETSCAPE ELEVATION
TP300	EXISTING SHADOW DIAGRAMS
TP301	EXISTING SHADOW DIAGRAMS
TP302	EXISTING SHADOW DIAGRAMS
TP303	SHADOW DIAGRAMS
TP304	SHADOW DIAGRAMS
TP305	SHADOW DIAGRAMS

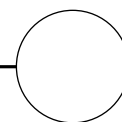


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REV.	DESCRIPTION	DSN	CHK	DATE
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C	R11 RESPONSE	FP	EG	2021.05.28
D	COUNCIL RESPONSE	FP	EG	2021.08.03



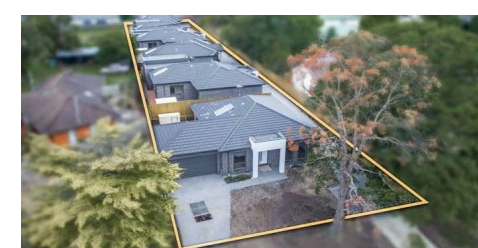
TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	COVER SHEET + STREET PERSPECTIVE	FP	1 : 1 @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP000	D

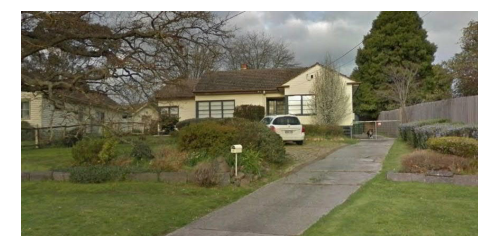


LOCATIONS IN PROXIMITY TO SITE

47.00 km	↘	MELBOURNE CBD (GPO)	Advertised
03.60 km	↑	GISBORNE TRAIN STATION	
00.21 km	→	FISHER STREET BUS STOP	
00.20 km	↑	MELBOURNE ROAD BUS STOP	
01.20 km	→	CALDER FREEWAY	
00.50 km	←	GISBORNE PRIMARY SCHOOL	
01.00 km	↙	GISBORNE SECONDARY COLLEGE	
01.10 km	↘	WILLOWBANK EARLY LEARNING CENTRE	
00.75 km	↗	GISBORNE CENTRAL	
01.60 km	←	GISBORNE GOLF CLUB	
01.10 km	↗	DIXON FIELD	
00.40 km	↙	UL DALY RESERVE	
02.30 km	↑	GISBORNE NATURE CONSERVATION RESERVE	



A - 33 CALTHORPE ST, GISBORNE - VIEW FROM NORTH-WEST



B - 35 CALTHORPE ST, GISBORNE - VIEW FROM WEST



C - 36 CALTHORPE ST, GISBORNE - VIEW FROM EAST

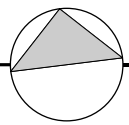


D - 26 HOWEY ST, GISBORNE - VIEW FROM SOUTH

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TOWN PLANNING

PROJECT
TOWNHOUSE DEVELOPMENT
35 CALTHORPE STREET,
GISBORNE

TITLE
SITE ANALYSIS

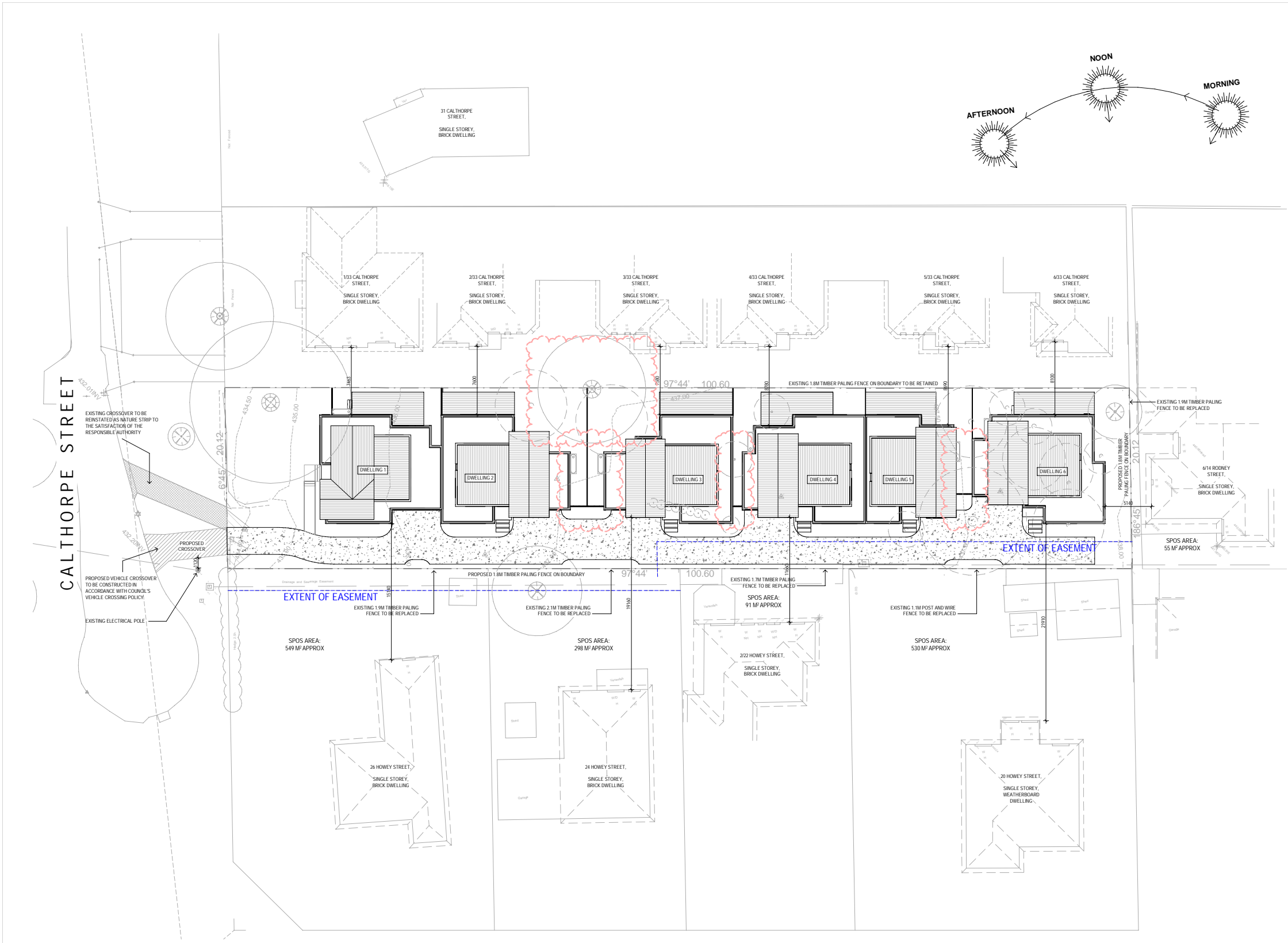
DRAWN
FP
SCALE
As indicated @ A1
PLOT DATE
14.10.2020
JOB No.
1060

DWG No.
TP001
REVISION
D

DEVELOPMENT SUMMARY	
TOTAL SITE AREA:	846.1 M ² (42%)
SITE COVERAGE:	737.7 M ² (36%)
GARDEN AREA:	738.6 M ² (36%)
PERMEABILITY:	

TOWNHOUSE 1	
GROUND FLOOR:	102.0 M ²
LEVEL 1:	78.7 M ²
GARAGE:	40.2 M ²
POS:	225.0 M ²
TOTAL	220.9 M ²
*LEVEL 1 55%	
TOWNHOUSE 2	
GROUND FLOOR:	100.8 M ²
LEVEL 1:	78.4 M ²
GARAGE:	40.4 M ²
POS:	86.0 M ²
TOTAL	219.6 M ²
*LEVEL 1 55%	
TOWNHOUSE 3	
GROUND FLOOR:	99.6 M ²
LEVEL 1:	74.1 M ²
GARAGE:	40.6 M ²
POS:	86.0 M ²
TOTAL	214.3 M ²
*LEVEL 1 52%	
TOWNHOUSE 4	
GROUND FLOOR:	103.3 M ²
LEVEL 1:	77.8 M ²
GARAGE:	39.9 M ²
POS:	64.0 M ²
TOTAL	221.0 M ²
*LEVEL 1 54%	
TOWNHOUSE 5	
GROUND FLOOR:	81.0 M ²
LEVEL 1:	79.0 M ²
GARAGE:	25.1 M ²
POS:	57.0 M ²
TOTAL	185.1 M ²
*LEVEL 1 74%	
TOWNHOUSE 6	
GROUND FLOOR:	107.7 M ²
LEVEL 1:	78.5 M ²
GARAGE:	39.4 M ²
POS:	135.0 M ²
TOTAL	225.6 M ²
*LEVEL 1 53%	

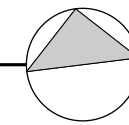
LEGEND	
	TITLE BOUNDARY
	EXTENT OF ROOF AREA TO SUBJECT SITE
	EXTENT OF PROPOSED DRIVEWAY
	EXTENT OF PROPOSED CROSSOVER
	EXTENT OF EXISTING CROSS OVER TO BE REINSTATED
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO BE RETAINED



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TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	DESIGN RESPONSE	FP	As indicated @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP002	D

DEVELOPMENT SUMMARY	
TOTAL SITE AREA:	846.1 M ² (42%)
SITE COVERAGE:	737.7 M ² (36%)
GARDEN AREA:	738.6 M ² (36%)
PERMEABILITY:	

TOWNHOUSE 1	
GROUND FLOOR:	102.0 M ²
LEVEL 1:	78.7 M ²
GARAGE:	40.2 M ²
POS:	225.0 M ²
TOTAL	220.9 M ²
*LEVEL 1 55%	

TOWNHOUSE 2	
GROUND FLOOR:	100.8 M ²
LEVEL 1:	78.4 M ²
GARAGE:	40.4 M ²
POS:	86.0 M ²
TOTAL	219.6 M ²
*LEVEL 1 55%	

TOWNHOUSE 3	
GROUND FLOOR:	99.6 M ²
LEVEL 1:	74.1 M ²
GARAGE:	40.6 M ²
POS:	86.0 M ²
TOTAL	214.3 M ²
*LEVEL 1 52%	

TOWNHOUSE 4	
GROUND FLOOR:	103.3 M ²
LEVEL 1:	77.8 M ²
GARAGE:	39.9 M ²
POS:	64.0 M ²
TOTAL	221.0 M ²
*LEVEL 1 54%	

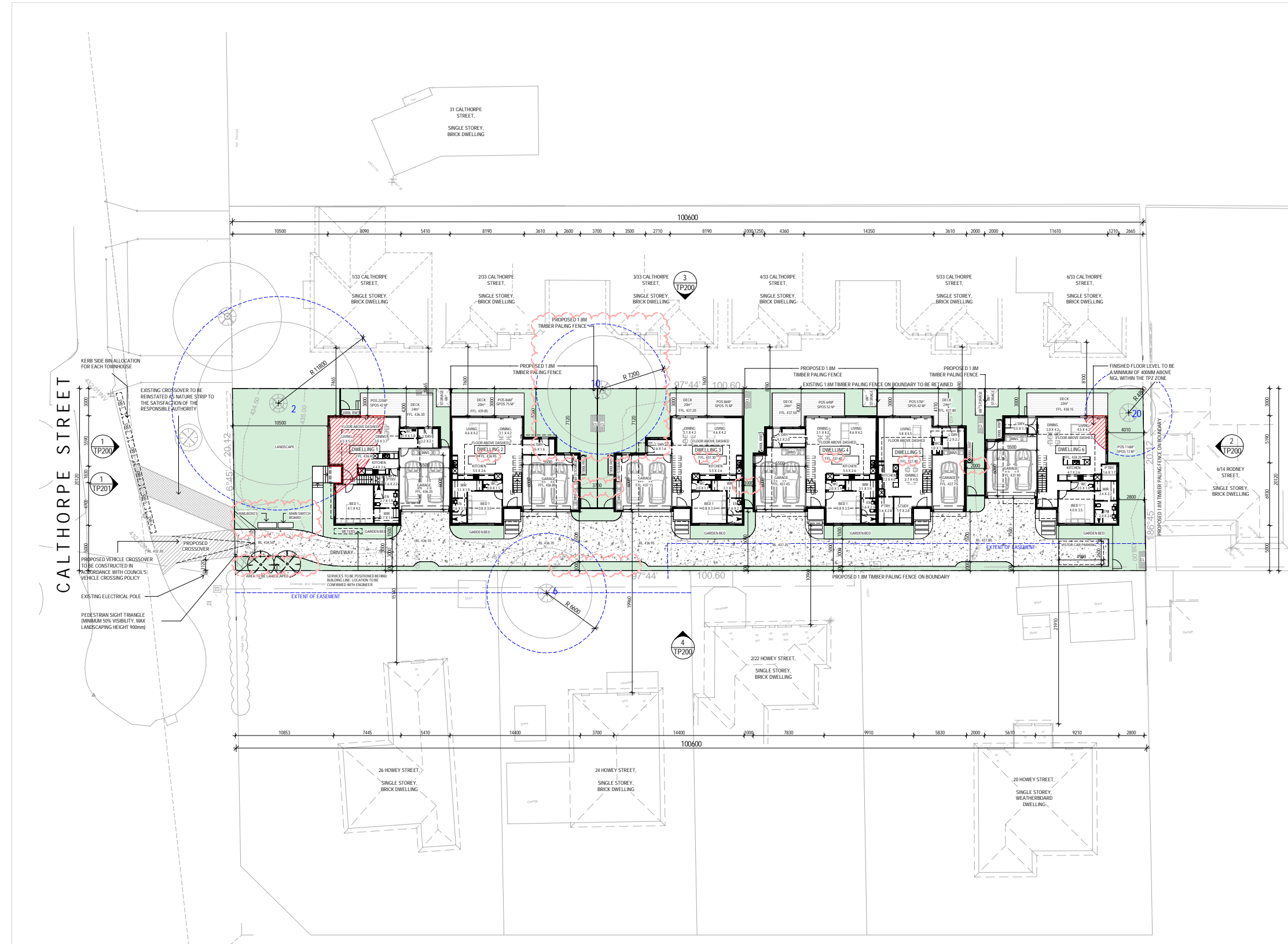
TOWNHOUSE 5	
GROUND FLOOR:	81.0 M ²
LEVEL 1:	79.0 M ²
GARAGE:	25.1 M ²
POS:	57.0 M ²
TOTAL	185.1 M ²
*LEVEL 1 74%	

TOWNHOUSE 6	
GROUND FLOOR:	107.7 M ²
LEVEL 1:	78.5 M ²
GARAGE:	39.4 M ²
POS:	135.0 M ²
TOTAL	225.6 M ²
*LEVEL 1 53%	

LEGEND	
	KERBSIDE BIN ALLOCATION
	PROPOSED GAS/WATER METER LOCATION
	EXISTING CROSSOVER TO BE REINSTATED
	PROPOSED CROSSOVER
	EXISTING EASEMENT
	SLEEPER RETAINING WALL

TPZ ENCROACHMENT			
TREE NO.	AREA	ENCROACHMENT	%
2	437.3 M ²	35.0 M ²	8%
6	136.8 M ²	0 M ²	0%
10	162.8 M ²	0 M ²	0%
20	72.3 M ²	6.7 M ²	9.2%

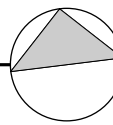
	TREE PROTECTION ZONE (TPZ)
	TPZ ENCROACHMENT
	TREE NUMBER



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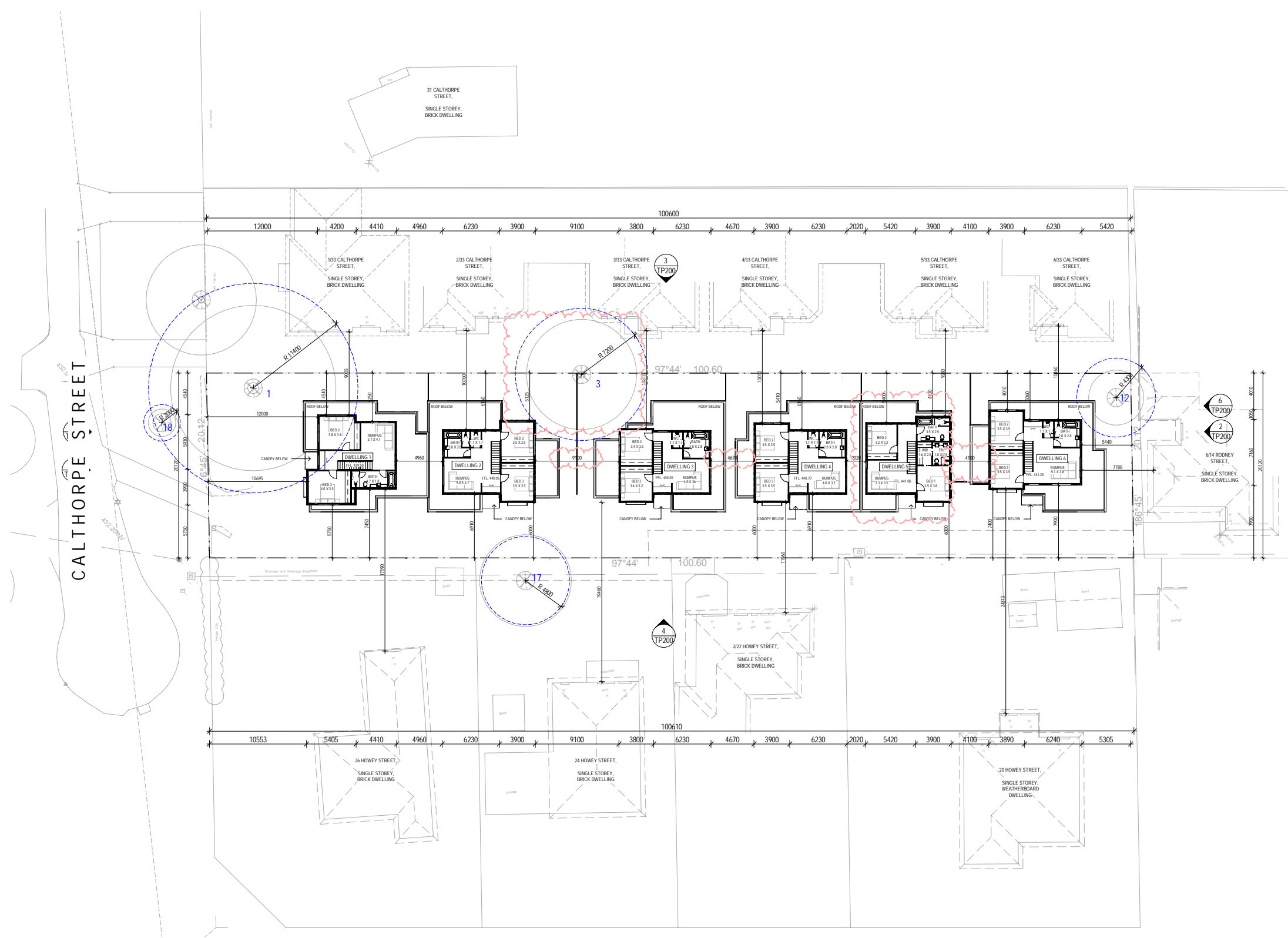
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D	COUNCIL RESPONSE	FP	EG	2021.08.03



TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB NO.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	PROPOSED GROUND LEVEL FLOOR PLAN	FP	As indicated @ A1	14.10.2020	1060
				DWG No	REVISION
				TP100	D

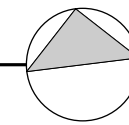
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TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	PROPOSED LEVEL 1 FLOOR PLAN	FP	1 : 200 @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP101	D

Advertised



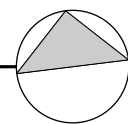
* NOTE: GUTTERS TO BE CONCEALED BEHIND PARAPET WHERE APPLICABLE. ALL EAVE GUTTERS ARE TO MATCH THE FASCIA COLOUR

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
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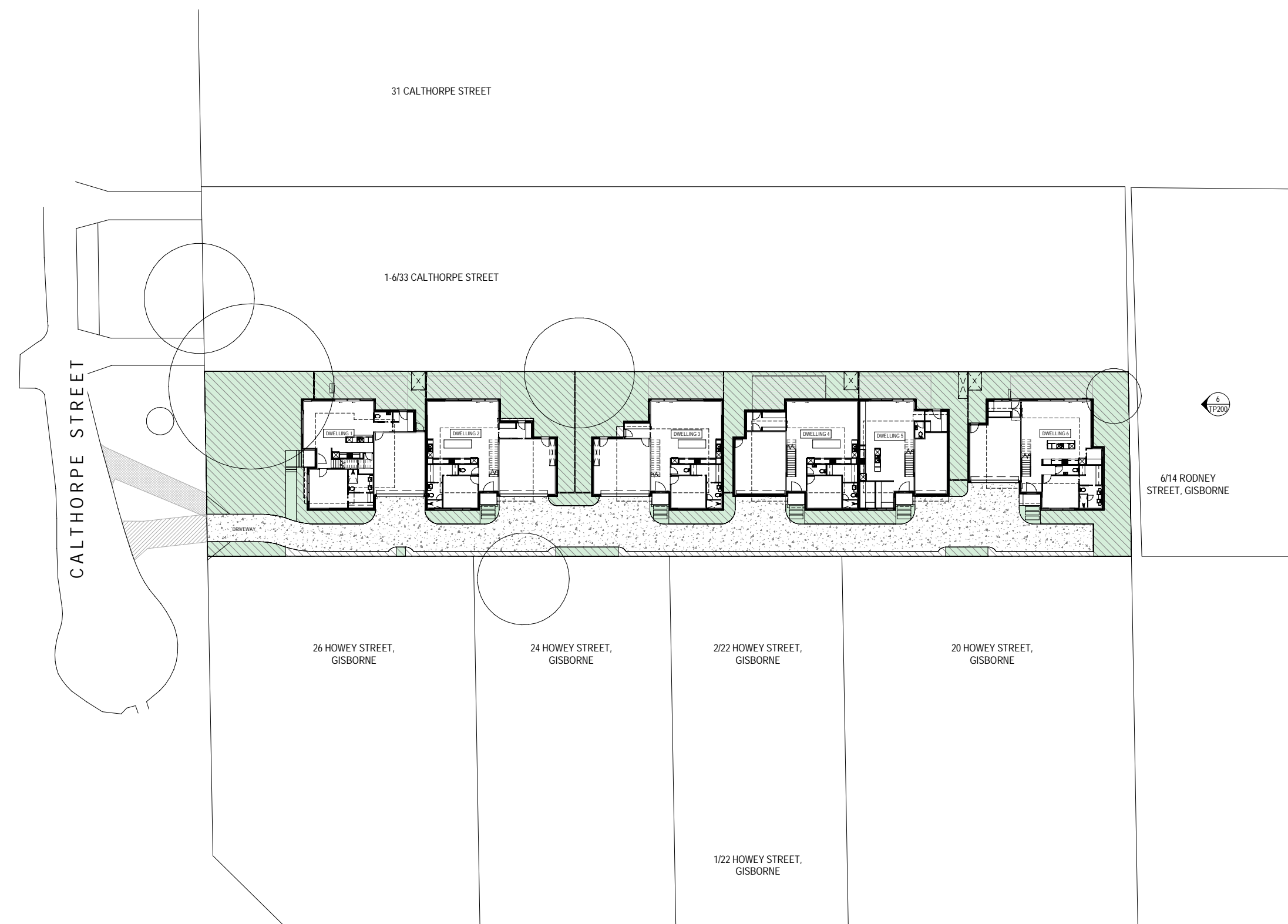
TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	PROPOSED ROOF PLAN	FP	1 : 200 @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP102	D

LEGEND Advertised

 GARDEN AREA
737.7 M² (36%)

 PERMEABILITY
738.6 M² (36%)

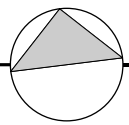


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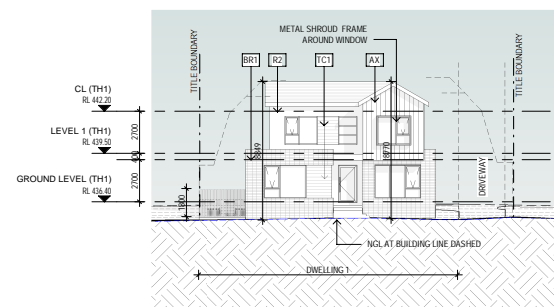
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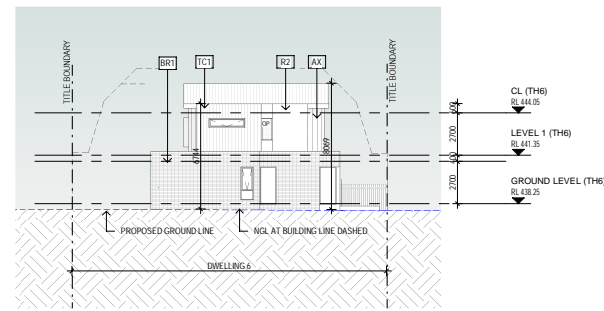


TOWN PLANNING

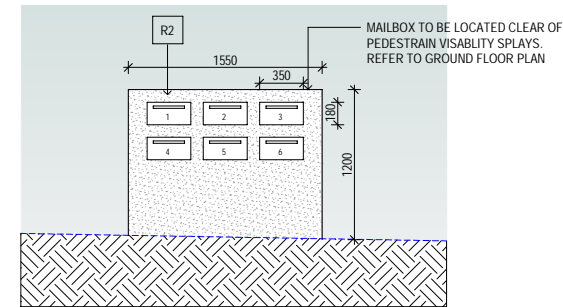
PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB NO.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	GARDEN AREA ANALYSIS	FP	As indicated @ A1	14.10.2020	1060
				DWG No. TP103	REVISION D



1 WEST ELEVATION (CALTHORPE STREET)
TP200 SCALE 1 : 200

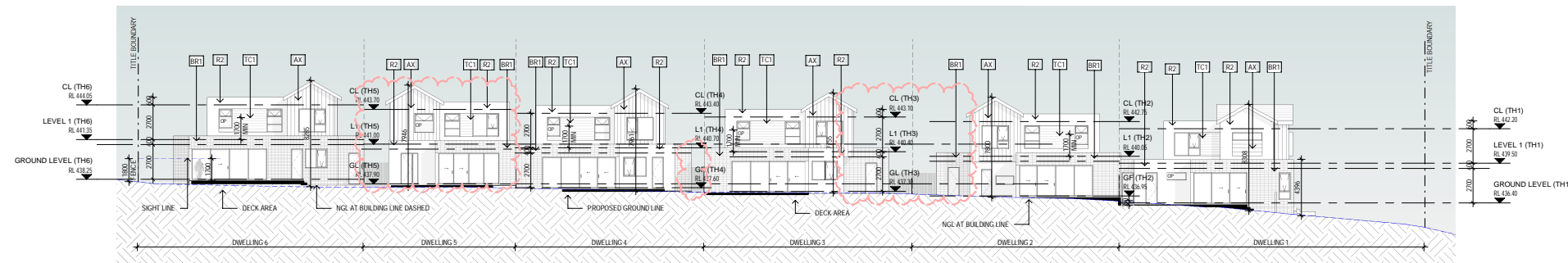


2 EAST ELEVATION
TP200 SCALE 1 : 200

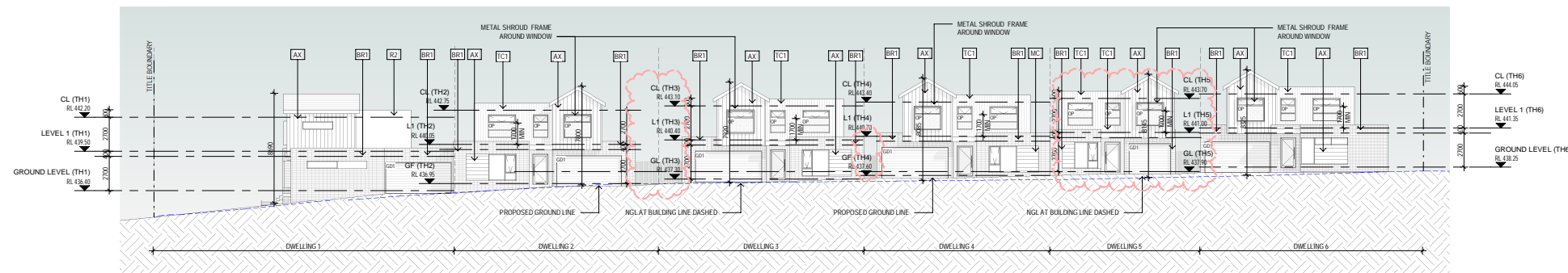


5 MAILBOX ELEVATION
TP200 SCALE 1 : 25

MATERIAL SCHEDULE	
	R2 RENDER FRESH COLOUR, DULUX STEELWOLFE
	BR1 STACK BOND BRICK FINISH AUSTRAL BRICK STRATTON OR SIMILAR
	AX AXON CLADDING COLOUR, COLORBOND MONUMENT OR SIMILAR
	TC1 TIMBER CLADDING TIMBER CLADDING OR SIMILAR
	ALUMINUM WINDOW FRAME_BLACK
	OP OPAQUE WINDOW
	GLAZED WINDOW FINISH_CLEAR
	GD1 GARAGE DOOR TIMBER LOOK GARAGE DOOR



3 NORTH ELEVATION
TP200 SCALE 1 : 200



4 SOUTH ELEVATION
TP200 SCALE 1 : 200

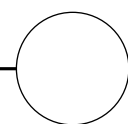
* NOTE: HABITABLE ROOM WINDOWS TO BE TREATED FOR OVERLOOKING IN ACCORDANCE WITH STANDARD B22 CLAUSE 55.04-6 OVERLOOKING

GUTTERS TO BE CONCEALED BEHIND PARAPET WHERE APPLICABLE. ALL EAVE GUTTERS ARE TO MATCH THE FASCIA COLOUR



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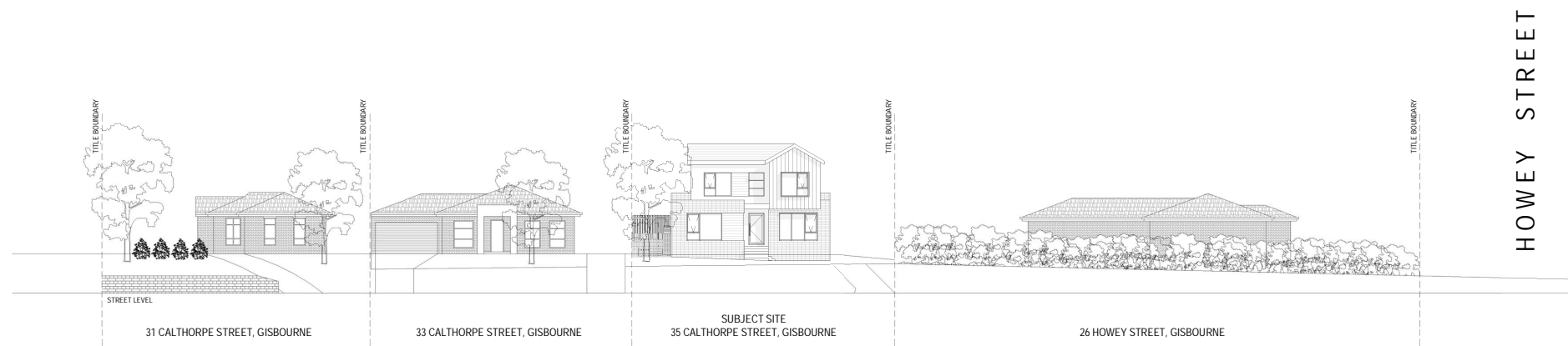
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TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	PROPOSED ELEVATIONS	FP	As indicated @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP200	D

Advertised

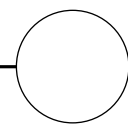


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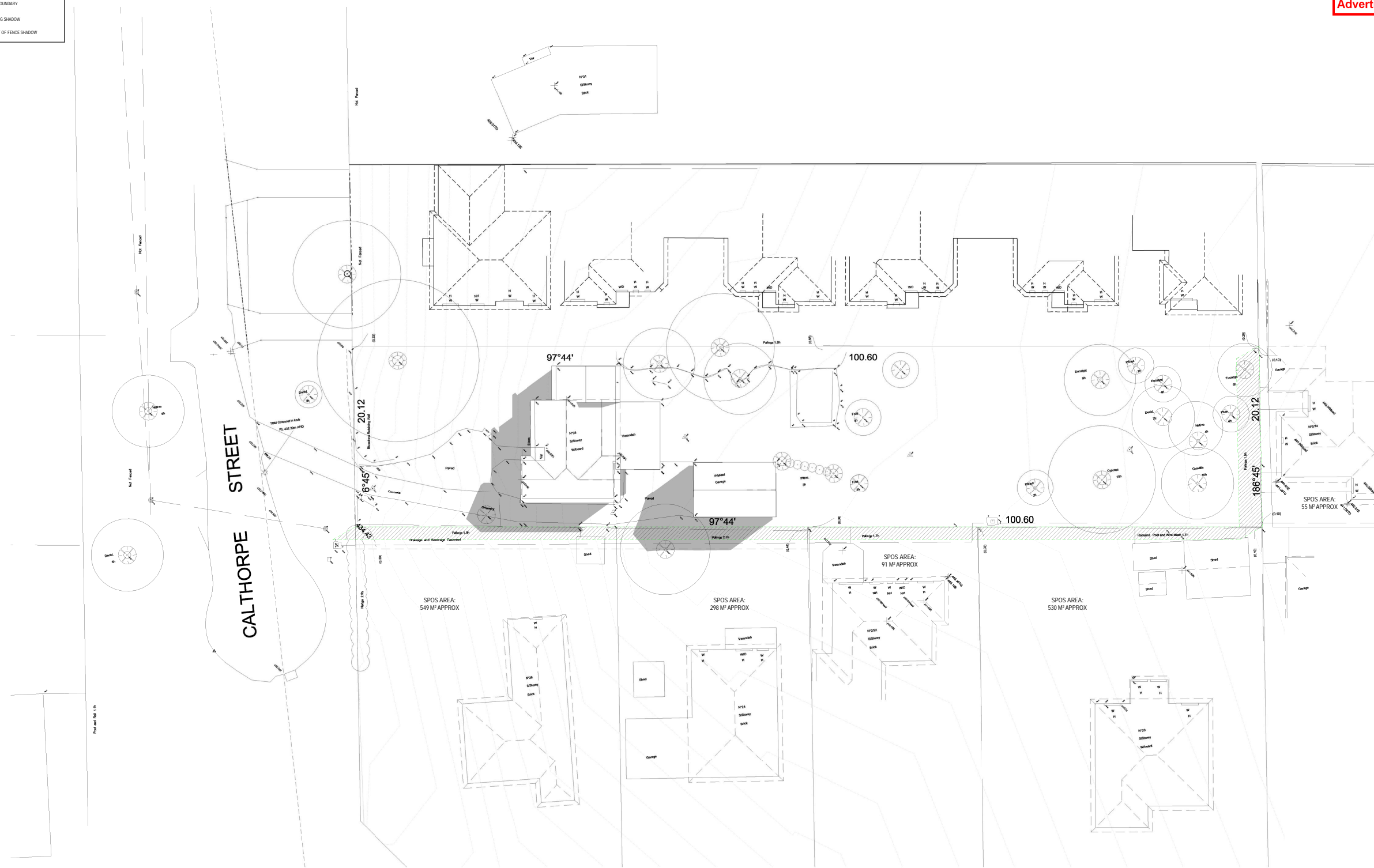


TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	STREETSCAPE ELEVATION	FP	1 : 200 @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP201	D

Advertised

LEGEND	
	TITLE BOUNDARY
	EXISTING SHADOW
	EXTENT OF FENCE SHADOW



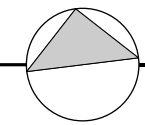
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TP300/ SCALE 1 : 200



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REV	DESCRIPTION	DSN	CHK	DATE
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B	COUNCIL RESPONSE	FP	EG	2021.08.03



TOWN PLANNING

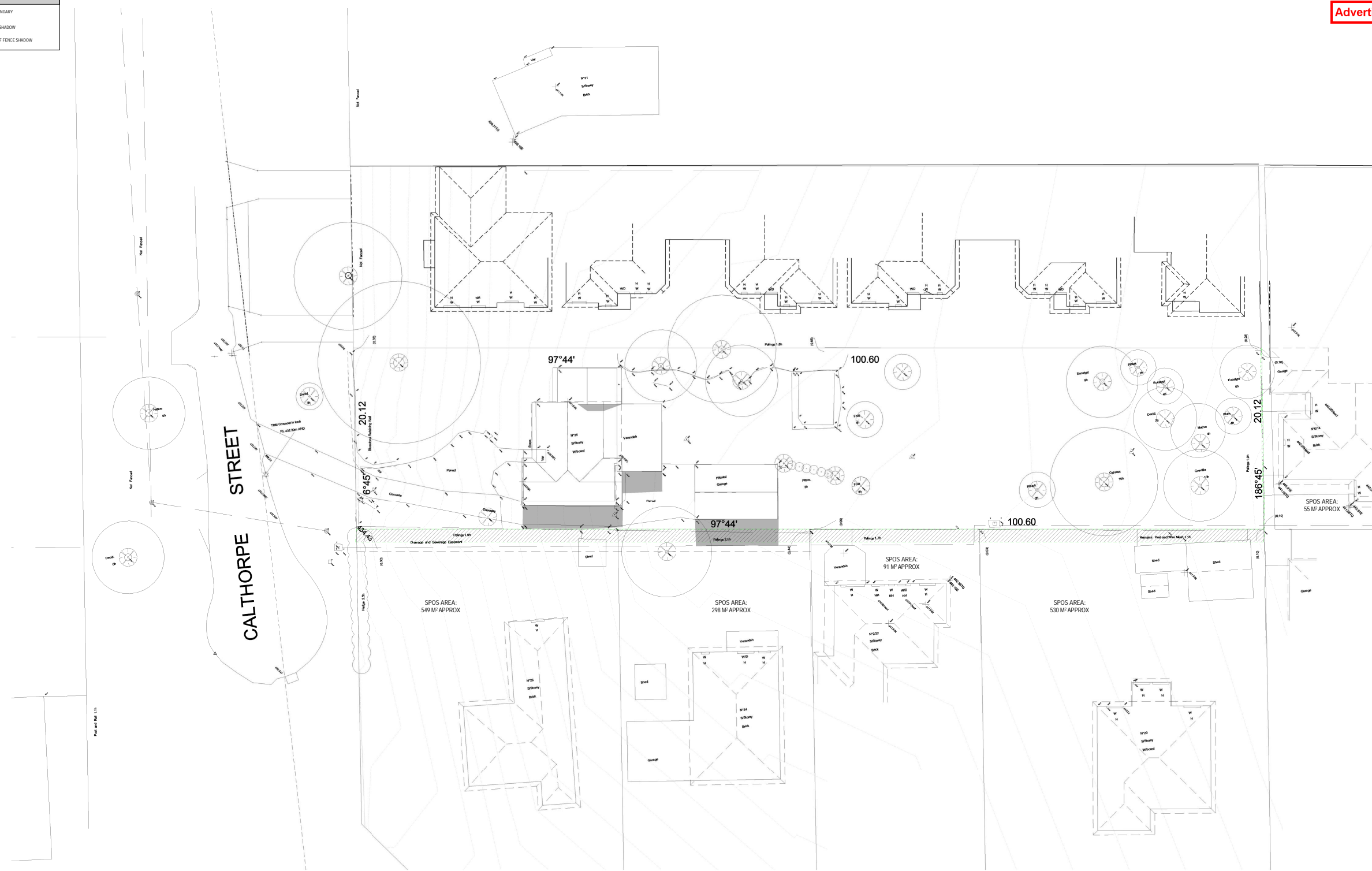
PROJECT
TOWNHOUSE DEVELOPMENT
35 CALTHORPE STREET,
GISBORNE

TITLE
EXISTING SHADOW
DIAGRAMS

DRAWN	SCALE	PLOT DATE	JOB No.
FP	As indicated @ A1	14.10.2020	1060
		DWG No.	REVISION
		TP300	B

Advertised

LEGEND	
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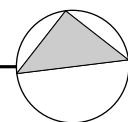
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TP301 SCALE 1 : 200

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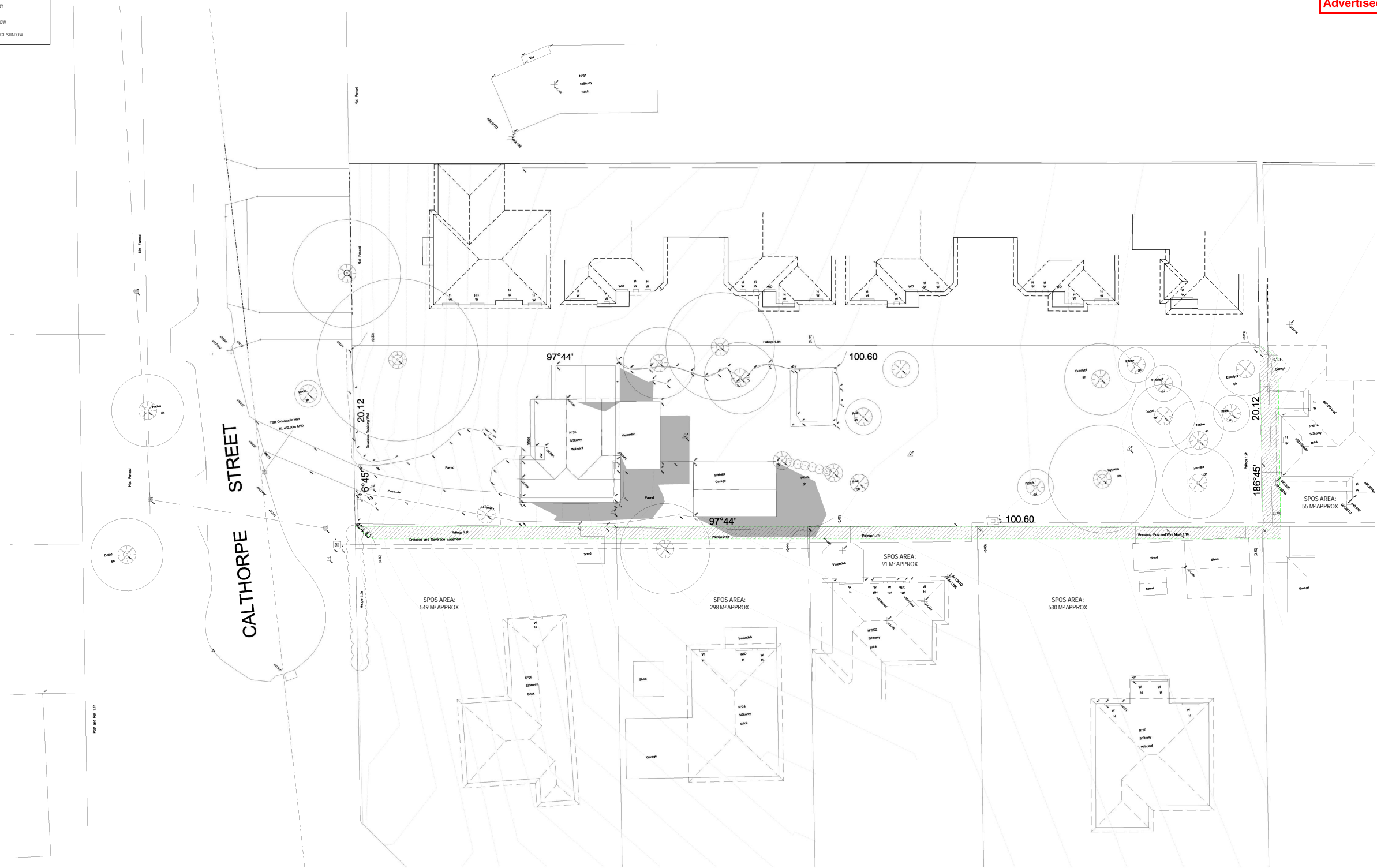
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				TP301	B

Advertised

LEGEND

- TITLE BOUNDARY
- EXISTING SHADOW
- EXTENT OF FENCE SHADOW



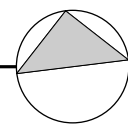
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 TP302 SCALE 1 : 200

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REV	DESCRIPTION	DSN	CHK	DATE
A	RFI RESPONSE	FP	EG	2021.05.28
B	COUNCIL RESPONSE	FP	EG	2021.08.03



TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	EXISTING SHADOW DIAGRAMS	FP	As indicated @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP302	B

Advertised

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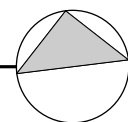


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TP303 SCALE 1 : 200

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B	ISSUE FOR TOWN PLANNING	FP	EG	2021.02.18
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D	COUNCIL RESPONSE	FP	EG	2021.08.03

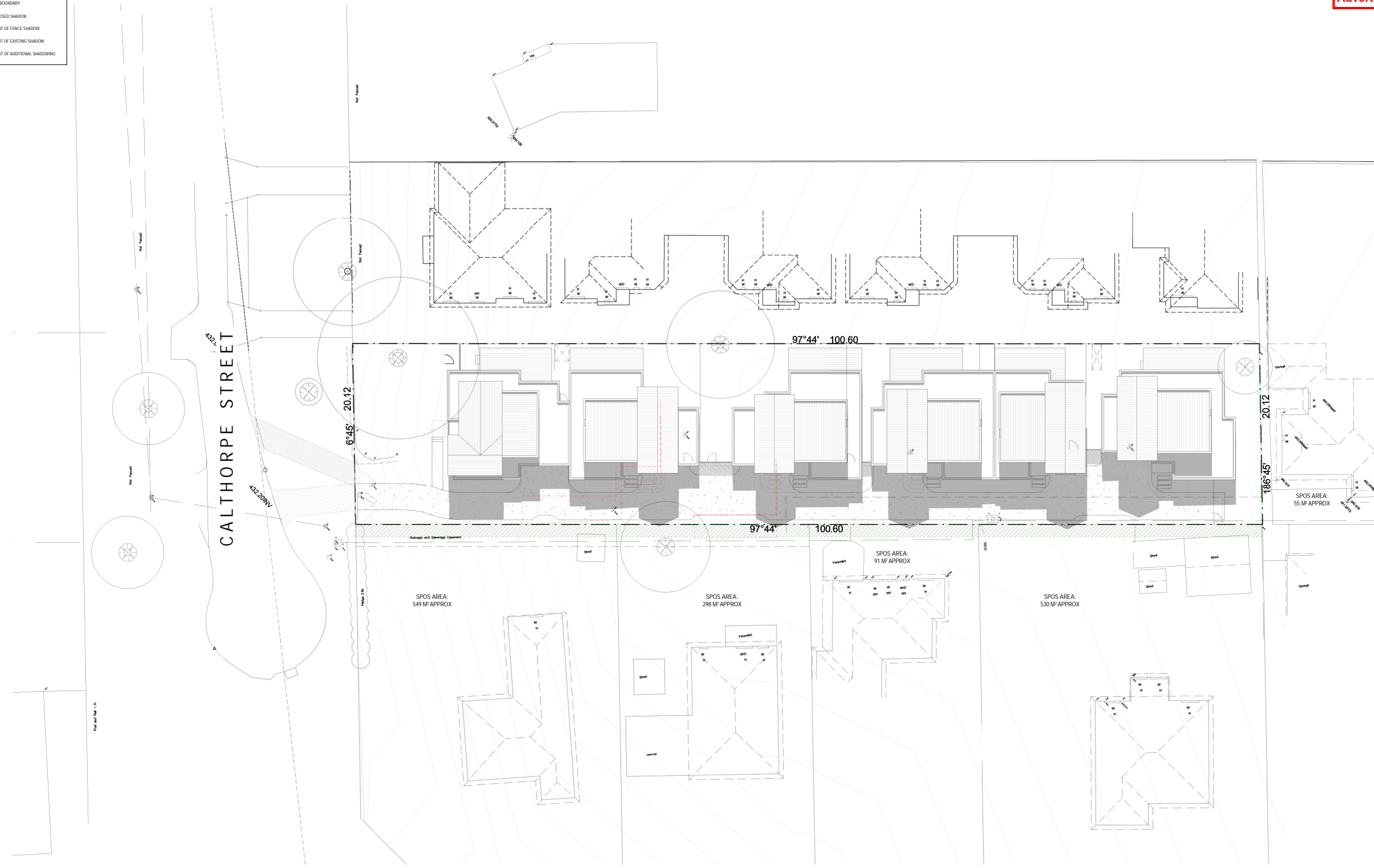


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			TP303	D	

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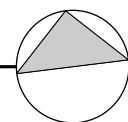


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B	ISSUE FOR TOWN PLANNING	FP	EG	2021.02.18
C	R11 RESPONSE	FP	EG	2021.05.28
D	COUNCIL RESPONSE	FP	EG	2021.08.03



TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
TOWNHOUSE DEVELOPMENT 35 CALTHORPE STREET, GISBORNE	SHADOW DIAGRAMS	FP	As indicated @ A1	14.10.2020	1060
				DWG No.	REVISION
				TP304	D

Advised

LEGEND

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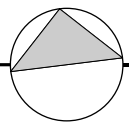


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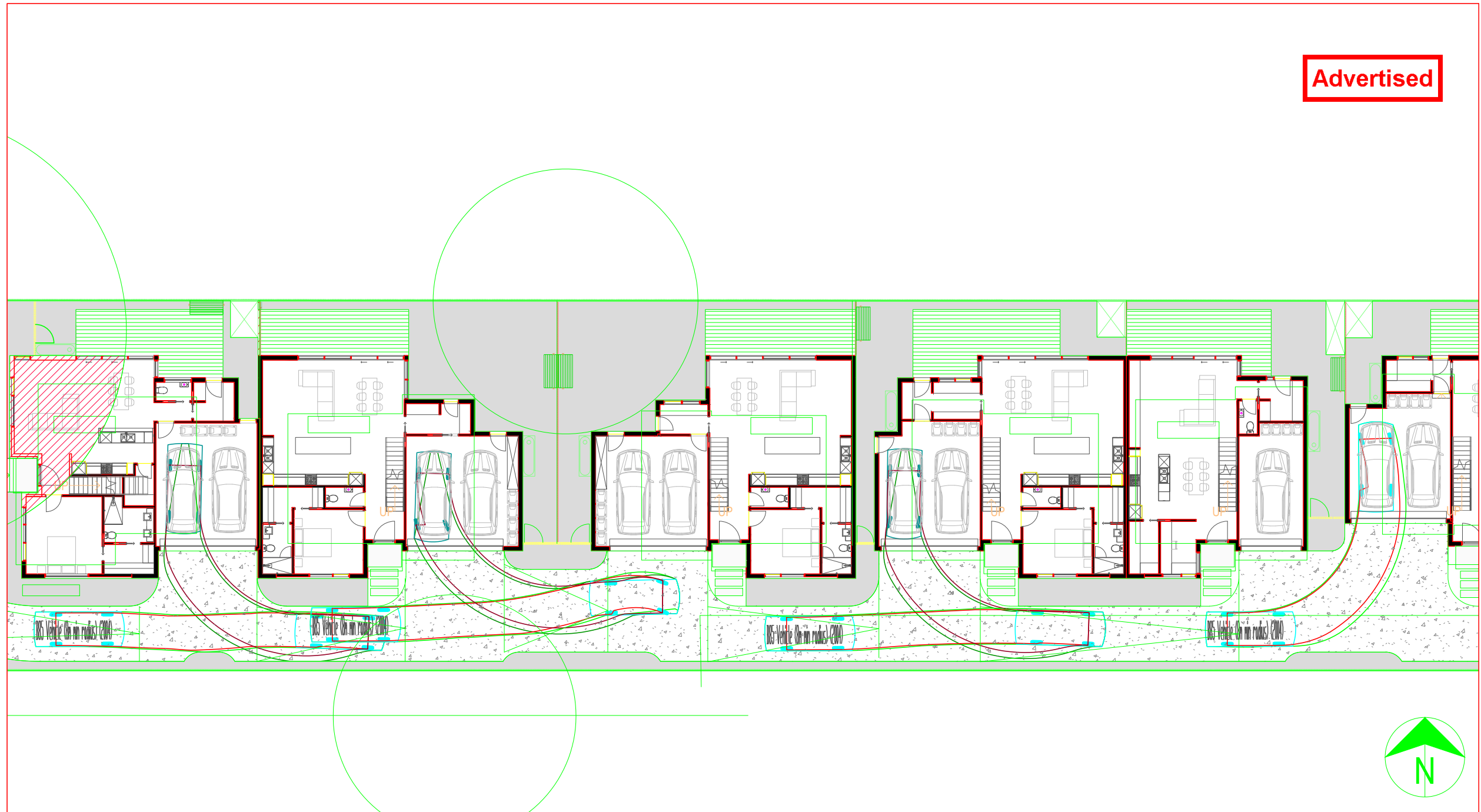
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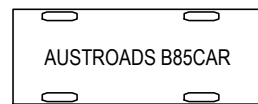
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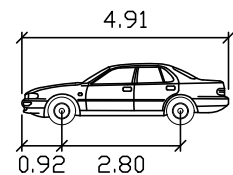
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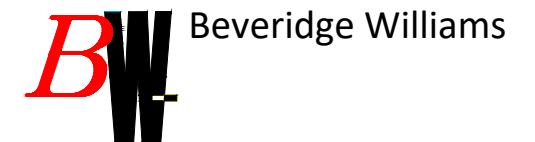


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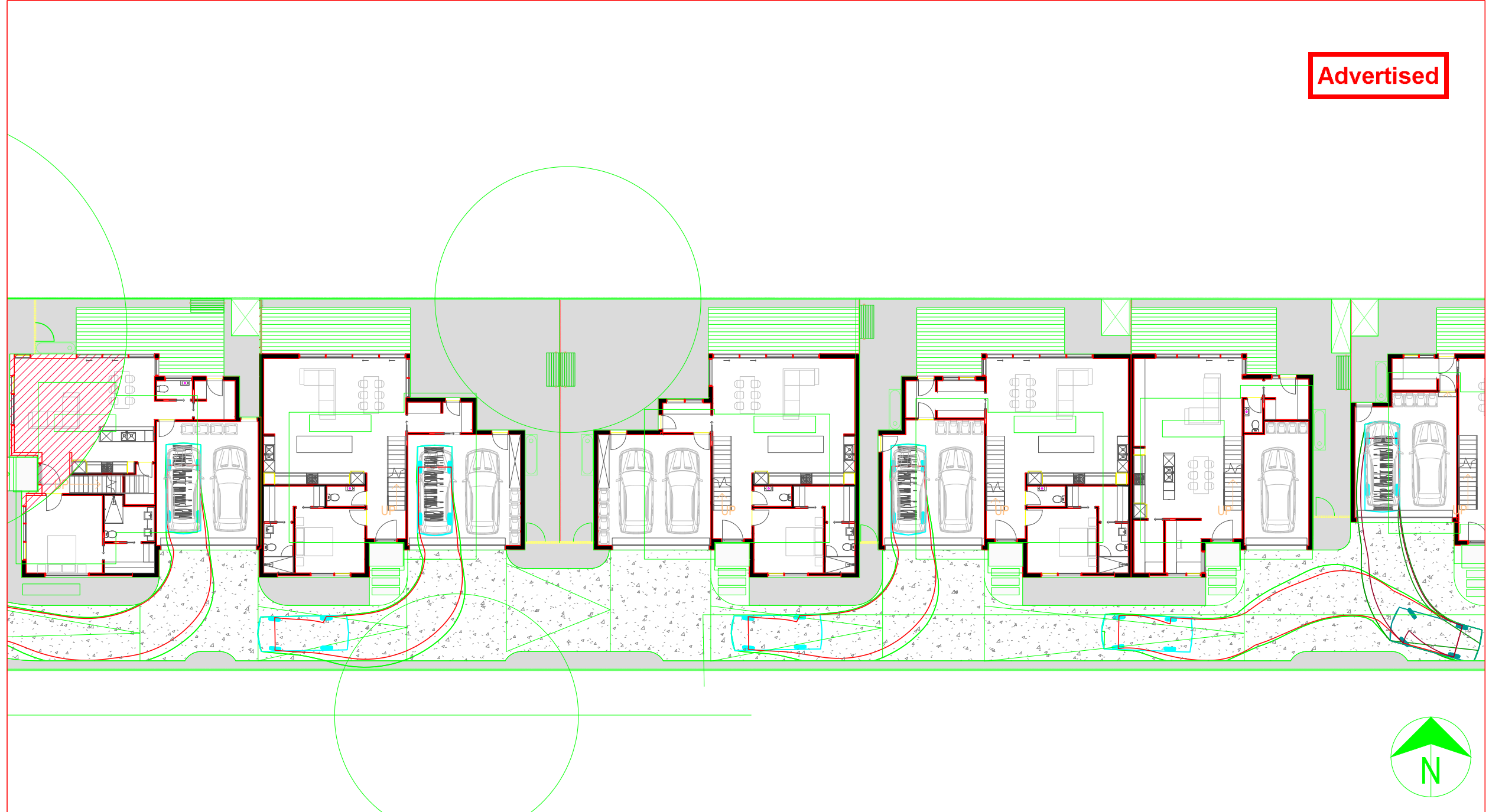


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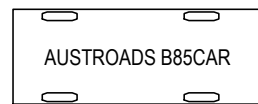
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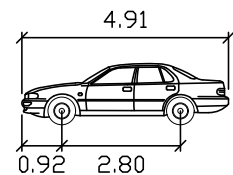
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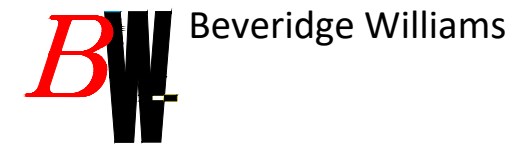


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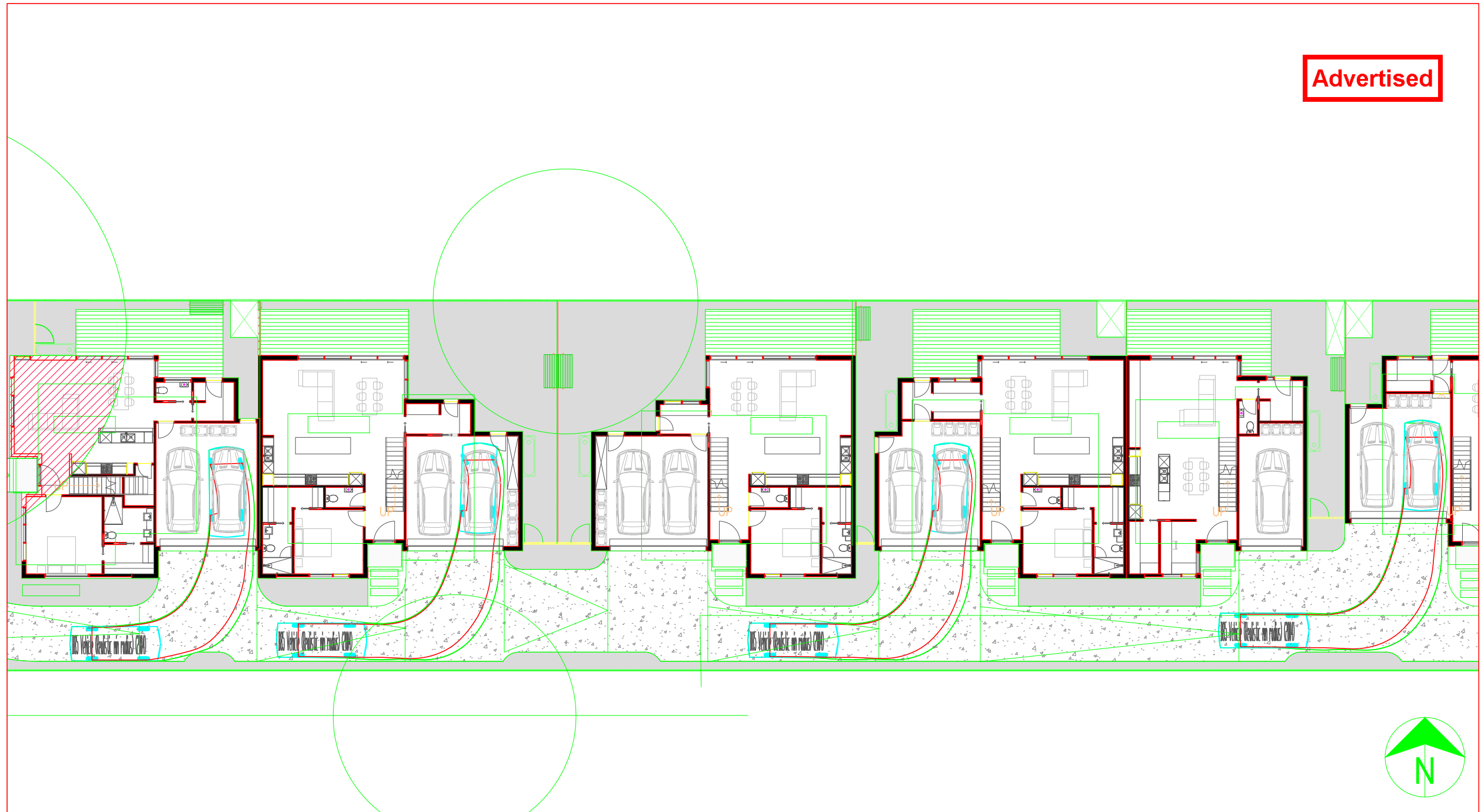


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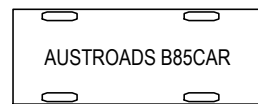
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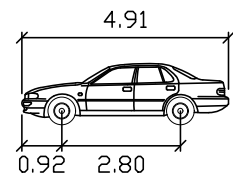
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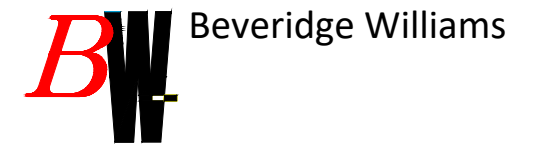


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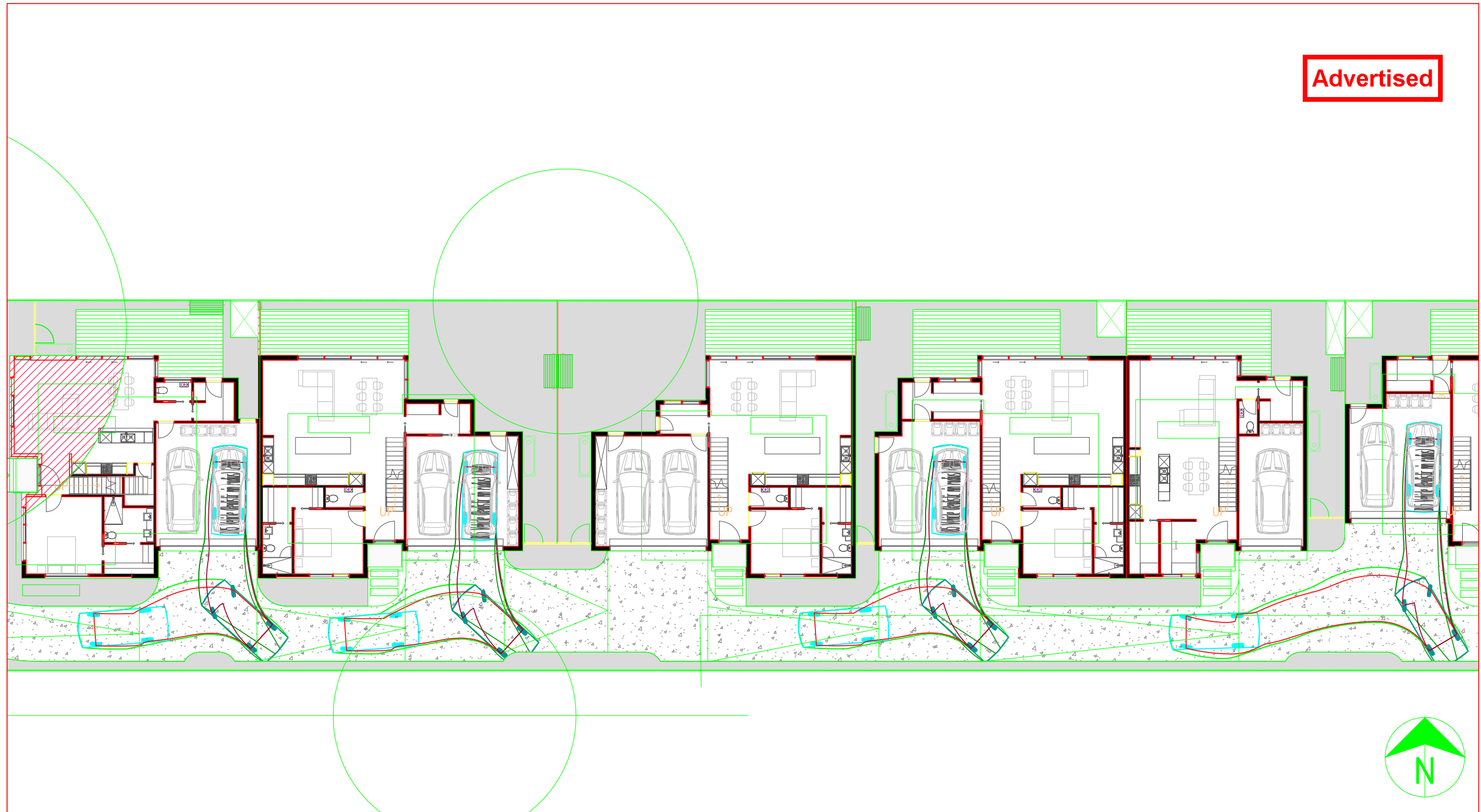


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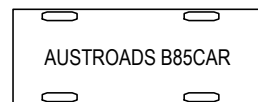
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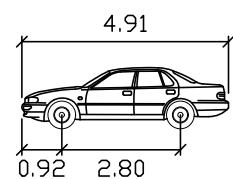
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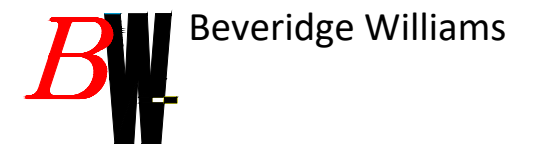


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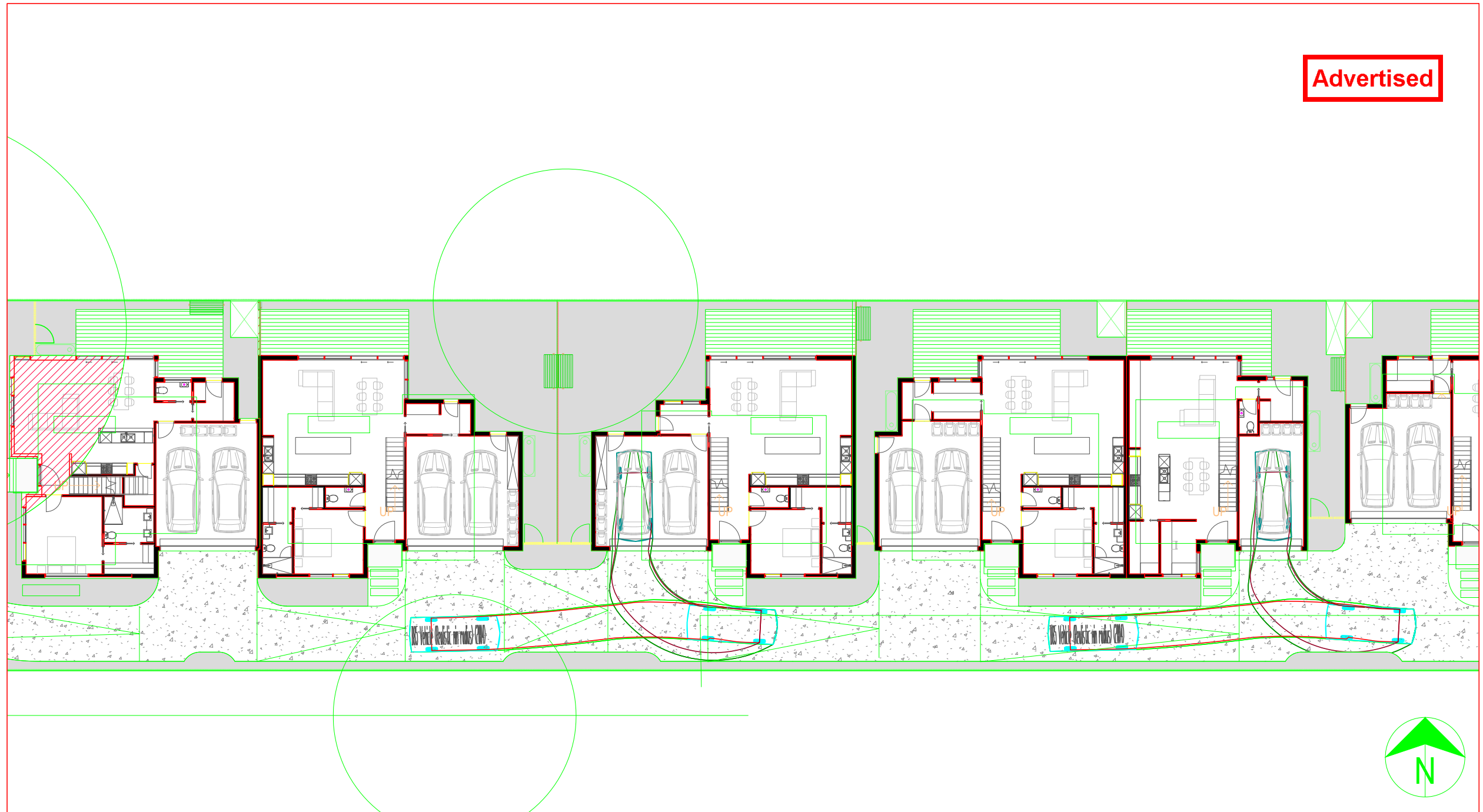


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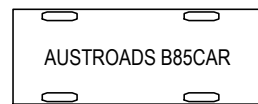
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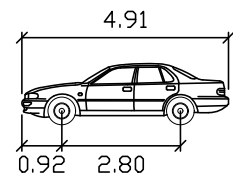
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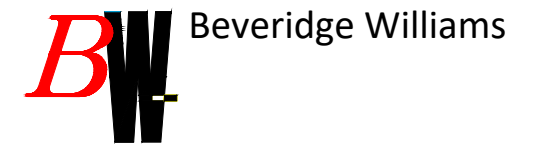


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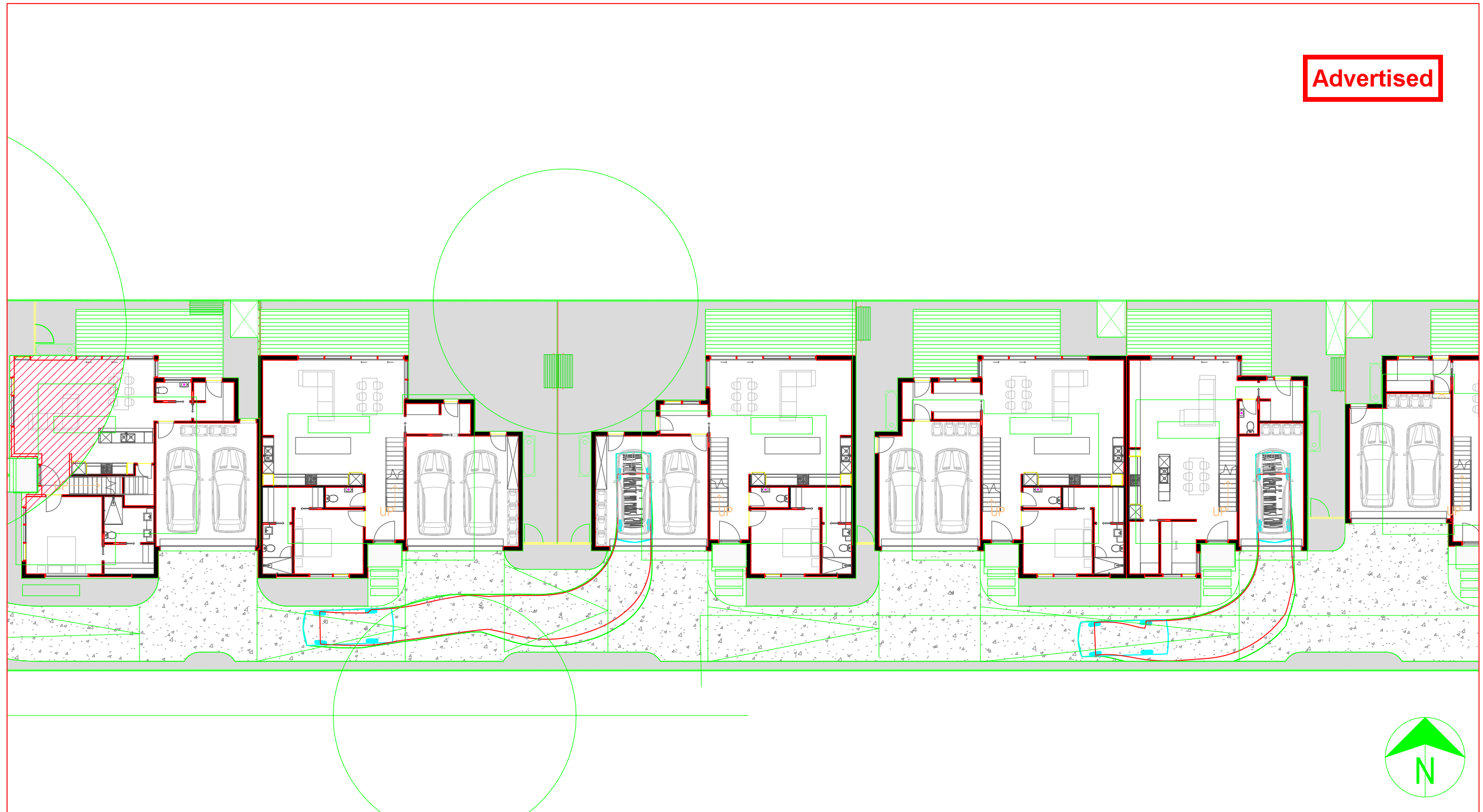


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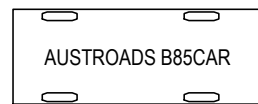
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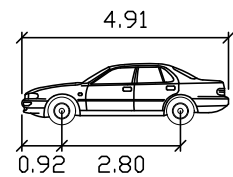
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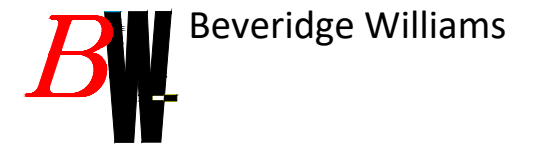


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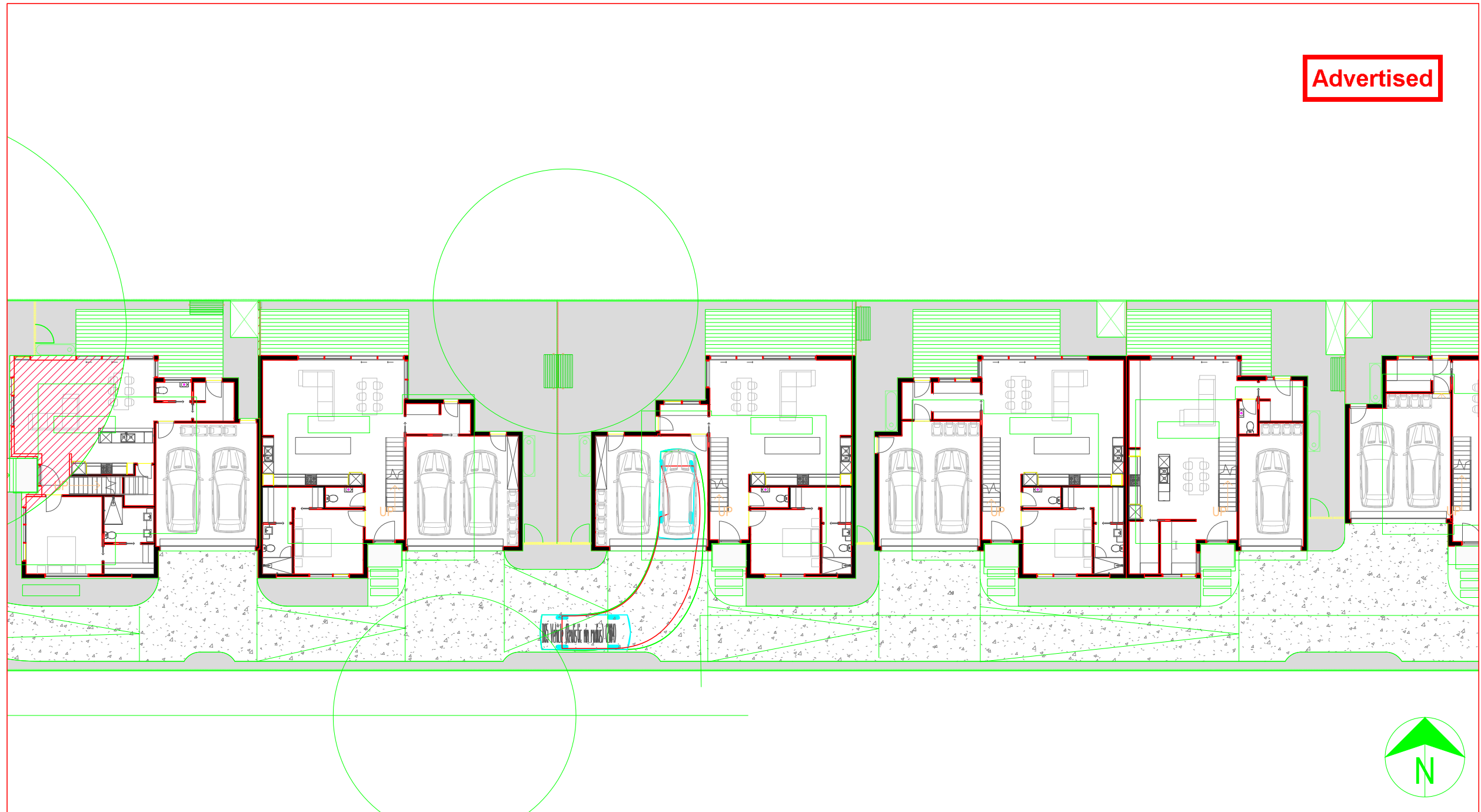


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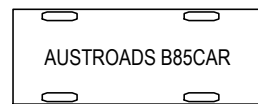
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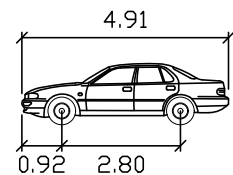
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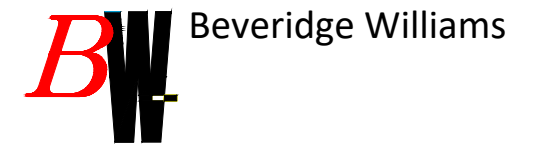


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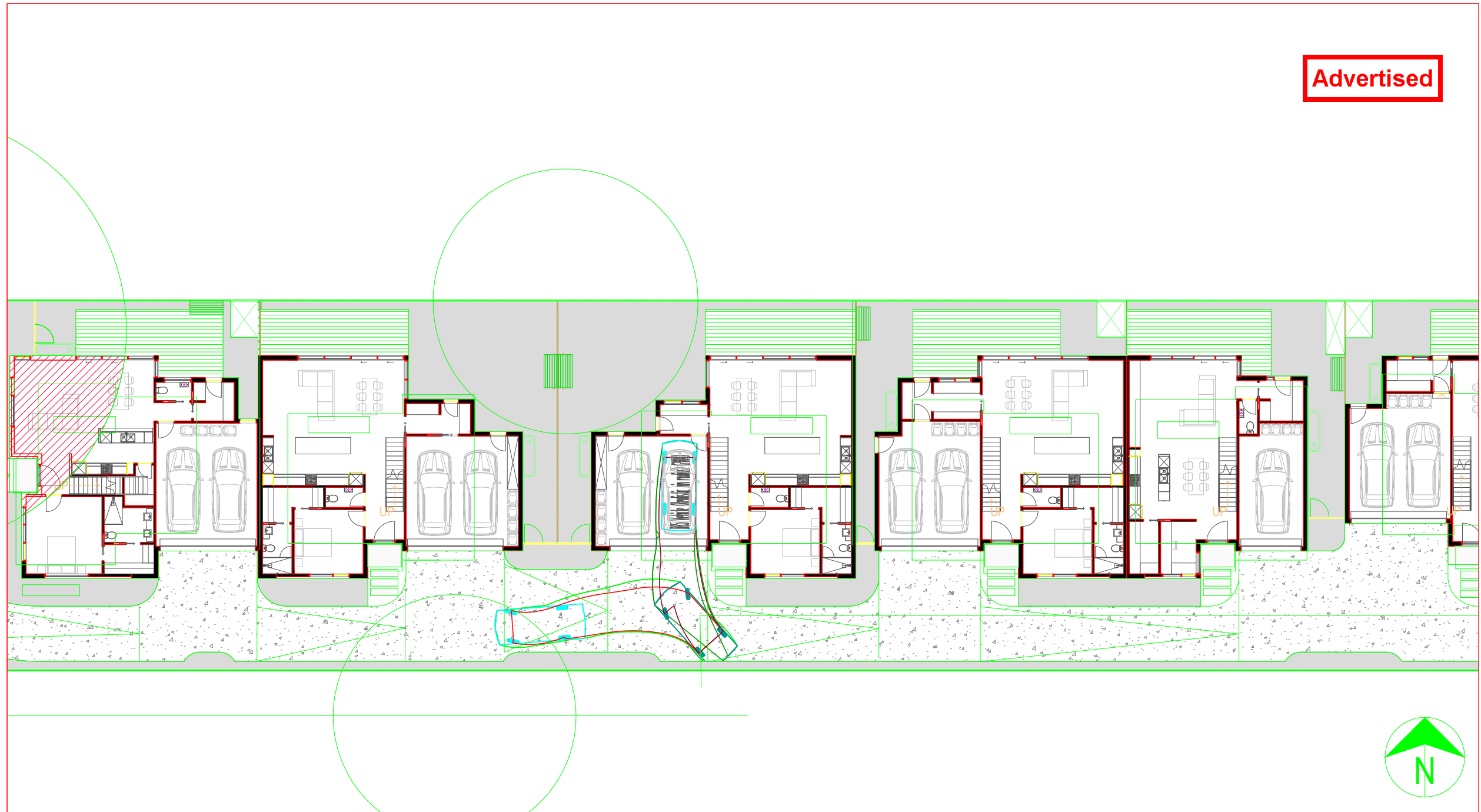


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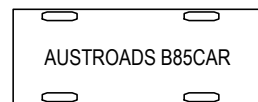
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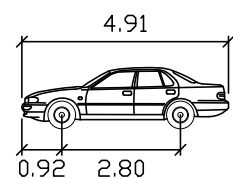
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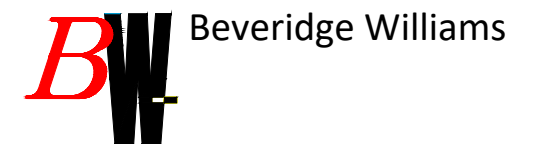


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2001135-SK08
 SWEEP PATH
 TOWNHOUSE 3
 RIGHT SPACE OUT
 E.A. 13-08-2021



Town Planning Report

35 Calthorpe Street, Gisborne

Client

Gisborne Manors Pty Ltd

Amended

13/08/2021

Advertised



Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au



Client: Gisborne Manors Pty Ltd
 Issued: 13/08/2021
 Version: D
 Prepared by: Jacqueline Kirwan
 Checked by: Hayley Down
 Project Manager: Jacqueline Kirwan
 Project Number: 2001135

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Surveying
 Asset Recording
 Civil Engineering
 Infrastructure Engineering
 Traffic & Transport Engineering
 Environmental Consulting
 Water Resource Engineering
 Strata Certification (NSW)
Town Planning
 Urban Design
 Landscape Architecture
 Project Management

Revision Table

REV	DESCRIPTION	DATE	AUTHORISED
A	Draft	01.03.21	HD
B	Final	01.03.21	HD
C	RFI Revision	01.07.21	JK
D	Section 50 Revision	13.08.21	JK

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- APPENDIX A: CLAUSE 55 ASSESSMENT**
- APPENDIX B: CERTIFICATE OF TITLE**
- APPENDIX C: TOWN PLANNING DRAWINGS**
- APPENDIX D: SWEEP PATH ANALYSIS**
- APPENDIX E: ARBORICULTURAL REPORT**

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1 INTRODUCTION

Beveridge Williams has been engaged by Gisborne Manors Pty Ltd to prepare and submit a planning permit application for the development of six dwellings at 35 Calthorpe Street, Gisborne.

This report confirms that the proposed development provides a high-quality site responsive design that is consistent with the State and Local Policy of the Macedon Ranges Planning Scheme, in providing new residential housing in an area where consolidation is encouraged.

This report has been prepared in support of the application and includes a description of the proposal and site surrounds, and an assessment of the proposal against the relevant planning provisions of the Macedon Ranges Planning Scheme.

This report should be read in conjunction with the following documents:

- ResCode (Clause 55) Assessment prepared by Beveridge Williams (Appendix A)
- A copy of the Certificate of Title (Appendix B)
- Town Planning Drawings prepared by Point Architects (Appendix C)
- Swept Path Analysis prepared by Beveridge Williams (Appendix D)
- Arboricultural Report prepared by John Patrick Landscape Architects (Appendix E)

Table 1 outlines the specific details of this application.

Table 1: Application Details

Property Details	35 Calthorpe Street, Gisborne
Title Particulars	Volume 07257 Folio 221
Current Land Use	Single Dwelling
Zones	General Residential Zone – Schedule 1
Overlays	Design and Development Overlay – Schedule 17 Development Contributions Overlay – Schedule 2
Heritage	The site is partially within an area of Aboriginal Cultural Heritage Significance
Planning Permit Requirements	Clause 32.08-6: Construct two or more dwellings on a lot Clause 43.05-2: Construct or carry out works
Responsible Authority	Macedon Ranges Planning Scheme
Applicant	Gisborne Manors Pty Ltd
Contact Person	Jacqueline Kirwan Town Planner Beveridge Williams PO Box 61 Malvern, VIC 3144 P: 0400 278 040 E: kirwanj@bevwill.com.au

Based on the information contained within this report, we submit the proposal complies with the relevant sections of the Macedon Ranges Planning Scheme, and we respectfully request that Macedon Ranges Shire Council issue a planning permit for the development of six dwellings at 35 Calthorpe Street in Gisborne.

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2 SITE AND SURROUNDS

2.1. Site Context

The site is located within an existing residential area in Macedon Ranges Shire Council. The lot sited on the east side of Calthorpe Street, towards the end of the cul-de-sac. The Gisborne Activity Centre is within close walking distance, being approximately 400 metres to the north-west (**Figure 1**).



Figure 1: Site Context Plan (Source: Melways, not to scale)

The site is well serviced by social and physical infrastructure, with a local bus stop within approximately 200 metres of the site, and convenient access to the Gisborne V-Line Railway Station via Station Road. The site is also provided convenient access to the Calder Freeway, with a freeway entrance approximately 1.2 kilometres to the east via Melbourne Road. There are also numerous recreation areas and schools within walking distance, including two primary schools approximately 200 metres to the west, and a secondary school approximately 650 metres to the south-west.

The site is within a General Residential Zone – Schedule 1 (GRZ1), which encourages incremental residential growth in locations offering good access to services and transport. Refer to Section 5.3 of this report for a detailed analysis of the proposal against the zoning controls and associated requirements. The land immediately adjoining the subject site is also subject to the GRZ1.

2.2. Subject Site

The subject site is formally described as Crown Allotment 15, Section 5, Township of Gisborne, Parish of Gisborne. The site is regular in shape with a primary frontage to Gisborne Street of 20.12 metres and a depth of 100.6 metres, with a total area of 2022m². The majority of the site is relatively flat, with a downwards slope towards Calthorpe Street between the existing dwelling and the street. There are no Section 173 Agreements, restrictive Covenants or easements registered to Title.

A copy of the Certificate of Title is provided at **Appendix A**.

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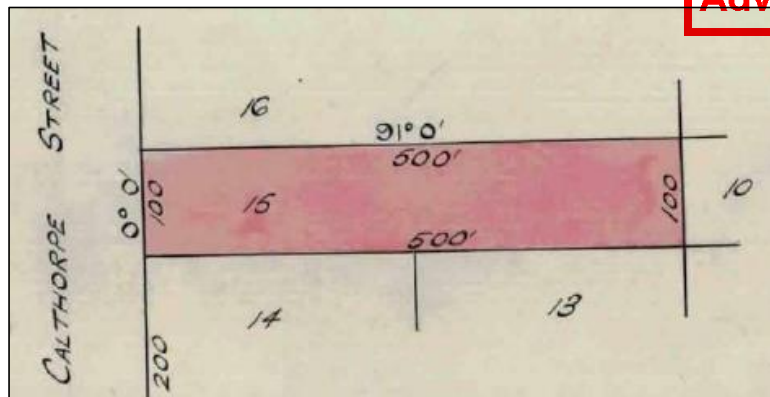


Figure 2: Subject site as on Title

The site currently contains a single storey weatherboard dwelling with a pitched and tiled roof, which is sited towards the front of the property (Figure 3). There is some vegetation throughout the site, including small to medium size shrubs and trees within the rear private open space area, as well as a large mature tree within the front setback. Fencing varying in height and materials spans along the side and rear boundaries, and no front fencing is present. The site is currently accessed via a single crossover to Calthorpe Street, which leads to a paved area within the front setback and a garage at the rear of the dwelling.



Figure 3: Subject site aerial image (Source: NearMap February 2021)

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2.3. Neighbourhood Context

The subject site is situated within an existing residential area that is characterised by an emerging pattern of modern infill development, including a mix of single and double storey multi-dwelling developments (**Figure 4**). Many of the surrounding medium density developments are contained within lots of a similar shape and size to that of the subject site. Of particular note, the lots immediately adjoining the site's north and east boundaries contain 6 and 12 dwellings respectively. Additionally, a development containing 12 double storey units at 27 Calthorpe Street was constructed in 2019.

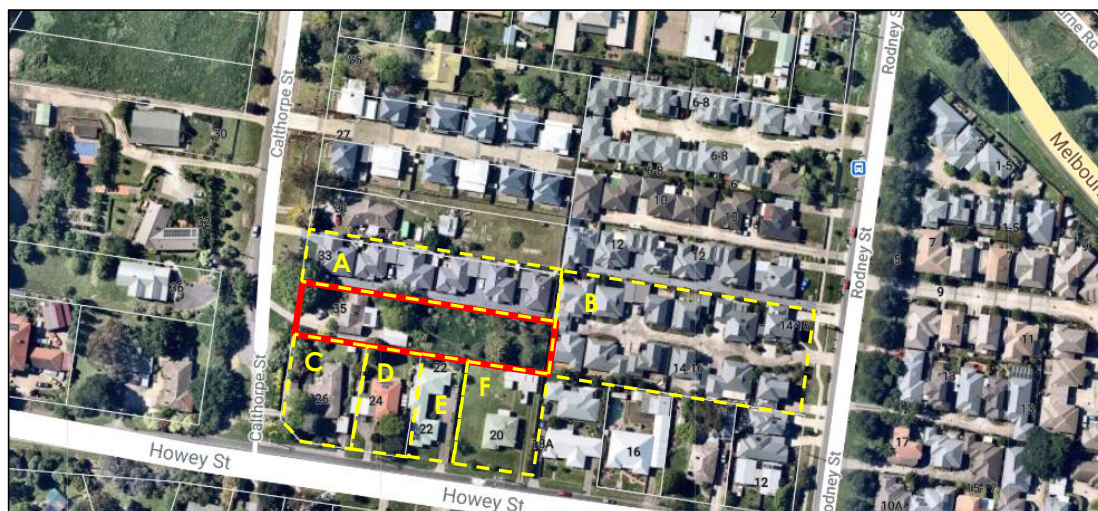


Figure 4: 35 Calthorpe Street's immediate abutments (Source: NearMap)

Front fencing is uncommon in the area and particularly along Calthorpe Street, with most dwellings having no front fencing present. Single crossovers are prevalent along Calthorpe Street, and properties commonly have impermeable driveways which lead to private garages. Front setbacks along Calthorpe Street range between approximately 5 – 20 metres, with the front setbacks and road reserve areas generally being well vegetated.

The site has 6 immediate abutments, which are labelled as Lot A-F in **Figure 4** and detailed as follows:

North (Lot A):

Lot A at 33 Calthorpe street is of a similar shape and size to the subject site and contains six brick veneer single storey units that were constructed in 2016. The development is set back from Calthorpe Street by approximately 8.5 metres. The site is accessed via two crossovers to Calthorpe Street. The northern crossover provides access to the front unit, while the southern crossover provides access to the rear 5 units. A paved area that adjoins Calthorpe Street connects the two crossovers. A driveway and some small shrubs form the interface between 33 Calthorpe Street and the subject site, and the units are setback from the common boundary by approximately 4.5 metres. The private open space areas are located to the north (rear) of each dwelling. There is currently minimal landscaping and vegetation present on the site.

East (Lot B)

Lot B at 14-16 Rodney Street is approximately twice the size of the subject site and contains twelve brick veneer and rendered brick dwellings with corrugated roofing, constructed in 2009/2010. The rear unit interfacing the subject site is single storey and setback from the common boundary by approximately 2 metres with a south-facing private open space area. The two units fronting Rodney Street are double storey. Two single crossovers and a double crossover provide access to the site from Rodney Street. The single crossovers that are sited towards the north and south of the

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site provide access to the two units fronting the street, and the centrally located double crossover provides access to the rear 10 units. The private open space areas of each dwelling are generally located at the rear of the dwellings. Some small to medium sized shrubs and trees are present throughout the site.

South (Lot C)

Lot C at 26 Howey Street contains a single storey brick veneer dwelling with a pitched and tiled roof and a primary frontage to Howey Street. The dwelling is setback from the common boundary by approximately 10 metres, with a private open space area, vegetation and a small shed interfacing the subject site. The dwelling can be accessed via two single crossovers, including one to Howey Street (south) and one to Calthorpe Street (west). The site is reasonably well vegetated, including some small trees and shrubs sited close to the common boundary.

South (Lot D)

Lot D at 24 Howey Street contains a single-storey brick veneer dwelling with a pitched and tiled roof. A single crossover is present towards the west boundary of the site. The lot contains one of the largest front and rear setbacks of dwellings within the immediate vicinity of the subject site, being setback from Howey Street by approximately 14 metres and from the common (rear) boundary by approximately 11 metres. Private open space interfaces the subject site, including a tree that is sited close to the common boundary.

South (Lot E)

Lot E at 22 Howey Street contains a single storey development of two attached units (1/22 Howey Street and 2/22 Howey Street). Both units are constructed with brick veneer and have corrugated iron hip roofs. Small trees and shrubs are present towards the front and rear of the site, with a covered pergola and alfresco dining area located in the north west corner of the site, approximately 2 metres south of the common boundary. Private open space immediately interfaces the subject site, with the building being setback from the rear common boundary by approximately 5.5 metres.

South (Lot F)

Lot F at 20 Howey Street is the subject site's most eastern abuttal on the south boundary. This site contains a single storey weatherboard dwelling with a corrugated iron hip roof. A single crossover is located towards the south east corner of the site, which leads to a permeable driveway. The dwelling possesses generous side and rear setbacks, with a minimum side setback of approximately 7 metres and a setback from the rear boundary of approximately 17 metres. Detached outbuildings are located towards the north east corner of the site with a setback of approximately 2 metres from the shared boundary.

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3 PROPOSAL

The application proposes six double storey dwellings at 35 Calthorpe Street in Gisborne. The dwellings will have a maximum building height of 8.69 metres from the natural ground level and will be constructed with high quality materials that are respectful of the surrounding neighbourhood character.

The new dwellings will have a north-south orientation with vehicle access via a shared driveway running along the south boundary. The existing vehicle crossover and associated driveway is proposed to be re-aligned closer to the south boundary, which provides a more logical outcome with better street amenity. Landscaped areas will be placed between the dwellings and the shared driveway to improve the visual amenity of the driveway. Pedestrian entry to the dwellings will be provided on the ground floor via well distinguished walkways that lead from the internal driveway.

The development will be constructed with a variety of materials, including brick as is present across a number of existing dwellings within the surrounding area, as well as some contemporary finishes such as timber cladding, colorbond, and render finish. The design outcome is respectful of neighbouring properties as well as the existing and evolving neighbourhood character.

Dwellings 1-4 & 6 will accommodate a total of three bedrooms. The ground floor of these dwellings will include a double garage, a master bedroom, an open living, dining, and kitchen area, a laundry, a walk-in-wardrobe and ensuite for the master bedroom, and a powder room for common use. The first floor of these respective dwellings will have two bedrooms, a bathroom and separate WC, a study nook, and a rumpus room. Dwelling 5 will accommodate two bedrooms, with the ground floor incorporating a single garage, an open living, dining and kitchen area, a separate WC, a laundry and a study. The first floor of Dwelling 5 will feature a master bedroom with a walk-in-wardrobe and ensuite, as well as a second bedroom, a bathroom for common use and a rumpus room.

All dwellings will be provided with a generous amount of north-facing private open space to achieve the maximum amount of direct solar access, and which has convenient access from the living areas. No communal open space is proposed. Each dwelling will be provided with sufficient storage space.

The development will have a site coverage of 42% and will achieve 36% permeability. Consistent with the established streetscape, no front fence is proposed and a 2-metre-high fence is proposed along the side and rear boundaries to minimise overlooking and maintain amenity for the subject site and adjoining properties.

The dwellings will be setback from Calthorpe Street by 10.5 metres. There will be a driveway, pedestrian walkway for Dwelling 1, a mailbox for all dwellings and site services within the front setback. Sufficient space is afforded throughout the site for landscaping and revegetation including within the front setback and along the length of the shared accessway to ensure a good amenity outcome is achieved for both future residents and the broader neighbourhood. Additionally, the retention of the large English Oak tree within the front setback will compliment and soften the proposed development. Where possible, trees will be retained on the site to protect the existing landscape character of the area. Removal of some trees will be required to ensure the proposal is viable, though we note that a planning permit is not required to remove any vegetation on the site in accordance with the applicable planning controls. An Arboricultural report has been prepared to ensure the proposed works do not cause unreasonable damage to trees being retained within or adjacent to the site. Please refer to the attached Arboricultural report at **Appendix E** for details.

The proposed dwellings will be centrally located within the site, being setback from the north (side) boundary by a minimum of 3 metres, from the east (rear) boundary by a minimum of 2.8 metres and from the south (side) boundary by a minimum of 5 metres. No walls on boundaries are proposed.

The proposal is entirely compliant with the Objectives and Standards of Clause 55 (ResCode). An assessment against the Clause 55 requirements is provided at **Appendix A**.

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The proposal provides an excellent design outcome that will ensure a high amenity for future residents and the broader community. The dwellings have been well designed with high quality materials, articulated facades and sensitive setbacks to present a contemporary outcome that is respectful of the existing neighbourhood character. The proposal will provide future residents with a sense of pride and identity. An artist impression of the proposed development as viewed from Calthorpe Street is provided at **Figure 5**.



Figure 5: Artist impression of the proposed development

Refer to the attached Town Planning drawings at **Appendix C** for details of the proposal.

Advertised

4 PLANNING CONTROLS

4.1. Planning Policy Framework

Clauses 10-19 of the Macedon Ranges Planning Scheme present the Victoria Planning Provisions (VPP), which provides a context for spatial planning and decision making by planning and responsible authorities. These provisions apply across the State and support a consistent approach to implementation of local planning scheme provisions in line with Victorian Government policy.

The VPP policies that specifically relate to the proposal include:

Clause 11 Settlement indicates that planning is to *facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services*. The intent of the policy (in part) is to ensure the ongoing provision of land to facilitate sustainable urban development, to encourage infill development in appropriate locations, and to provide a diversity of housing to cater for different households. This Clause notes that development should *provide for growth in population and development of facilities and services across a regional or sub-regional network*.

Clause 15 Built Environment and Heritage identifies the need to create high quality-built environments supporting the social, cultural, economic, and environmental well-being of communities, cities, and towns. As part of this, **Clause 15.01-15 Urban design** seeks to create urban environments that are safe, healthy, functional, provide good quality environments, and positively contribute to a sense of place and cultural identity. Additionally, **Clause 15.01-5S Neighborhood character** seeks to *recognize, support, and protect neighborhood character, cultural identity, and sense of place*.

Clause 16 Housing provides that new housing should have access to services, be planned for long term sustainability and cater for a range of housing types to meet the increasingly diverse needs of the population. Specifically, **Clause 16.01-15 Housing supply** seeks to *facilitate well-located, integrated and diverse housing that meets community needs by encouraging higher density housing development on sites that are well located in relation to jobs, services and public transport*. It also seeks to *increase the proportion of housing in designated locations in established urban areas and reduce the share of dwellings in greenfield, fringe and dispersed development areas*.

4.2. Local Planning Policy Framework

4.2.1. Municipal Strategic Statement

The Municipal Strategic Statement (MSS) as set out in the Macedon Ranges Planning Scheme sets the future strategic direction for the municipality and provides justification for the detailed provisions contained within the planning scheme. The following is an account of key parts of the MSS with relevance to the current application.

Clause 21.01 Municipal Profile provides the expectation that by the year 2036, approximately 25% of the population within the Macedon Ranges Shire will be over 65 years. It also discusses the lack of diversity in housing stock within the municipality, with almost 95% of dwellings being detached, and 54% of households accommodating just one or two people. Gisborne is identified as being one of the major population and employment centres within the municipality due to its excellent economic development and a range of community health and wellbeing services and facilities. The Clause also identifies the Gisborne and Kyneton townships as having the highest urban growth within the Shire over the past decade. **Clause 21.02 Key Issues and Influences** further recognises that by 2036, it is expected that 42% of the Macedon Ranges population will reside in these two towns.

Additionally, **Clause 21.03-2 Land-use vision** seeks to ensure that *development occurs in an orderly and sustainable manner, maintaining clear distinctions and separations between settlements*. It also seeks to diversify the range of residential opportunities in appropriately zoned and serviced land to meet the needs of the Shire's changing demographic.

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Clause 21.04 Settlement forecasts that the township of Gisborne will accommodate the vast majority of growth over the coming years and is set to become the Regional Centre of Macedon Ranges Shire by 2036, accommodating upward of 10,000 people. The Strategies contained within this Clause seek to facilitate this growth within Gisborne and ensure urban development is contained within the identified township boundary. This Clause also seeks to protect and enhance environmental features and natural resources by guiding population growth to settlements where existing environmental assets will not be jeopardised.

Clause 21.05 Environment and Landscape Values acknowledges Macedon Ranges and its surrounds as being an area of both state and national environmental and conservation significance. It seeks to retain the Shire's rich native biodiversity by avoiding removal of remnant vegetation with high ecological values and enhancing existing rural landscapes.

Clause 21.08-2 Aboriginal Cultural Heritage seeks to protect Aboriginal Cultural Heritage places and values within the Shire by working with traditional owners and other relevant parties to identify and protect these values.

Clause 21.08-3 Built environment seeks to ensure the growth of towns is sustainable and respectful of the existing character values by directing *population and development to settlements where scenic landscape values will not be jeopardised* and by improving the walkability and accessibility of townships. This Clause also encourages development that reflects existing street patterns and subdivision layouts.

Clause 21.09 Housing discusses the changing demographics within the Shire and the resulting demand for greater housing diversity. As such, this Clause encourages a diversity of housing in appropriate locations that meet the requirements of all age groups, household types, lifestyles and preferences. It also seeks to ensure housing development is considerate of its environment and local servicing capacities and encourages environmentally sustainable housing.

Clause 21.13 Local Areas and Small Settlements describes Gisborne and New Gisborne as a large district town that currently forms the major urban centre in the southern end of the Shire. The town is characterised as having diverse residential precincts and attractive living environments. This Clause seeks to *maintain Gisborne and New Gisborne as distinctive semi-rural settlements with clear limits to population and physical urban growth*, by managing growth in accordance with the Framework Plan. Specifically, medium density housing is encouraged within 400 metres of the Gisborne town centre, as depicted on the Gisborne/New Gisborne Framework Plan (extract at **Figure 6**). 35 Calthorpe Street is within a *preferred area for medium density housing* as identified by the Framework Plan. Additionally, this Clause seeks to *maintain and improve key urban and landscape elements, and cultural heritage assets that contribute to the established semi-rural township and village character of Gisborne and New Gisborne*.

Advertised



Figure 6: Gisborne/New Gisborne Framework Plan extract, Clause 21.13

4.2.2. Local Planning Policy

There are no Local Planning Policies that apply to this planning permit application.

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4.3. Zone and Overlay Controls

4.3.1. General Residential Zone – Schedule 1

The subject site is situated within the General Residential Zone – Schedule 1 (GRZ1) (**Figure 7**).

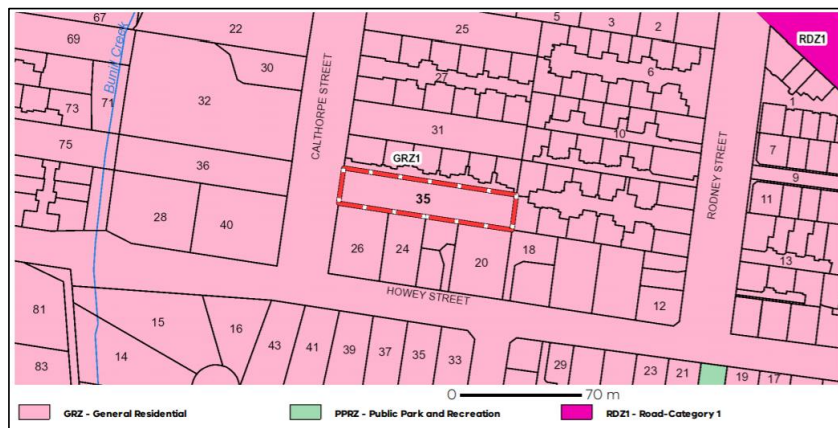


Figure 7: Zoning Map (Source: Planning Maps Online, not to scale)

The purpose of the GRZ is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to **Clause 32.08-6**, a permit is required to construct two or more dwellings on a lot. Any such development must meet the requirements of Clause 55.

In accordance with Clause 32.08-4, an application to construct a residential building on a lot greater than 650m² must provide a minimum garden area of 35%.

Clause 32.08-10 outlines the maximum building height requirement for a dwelling and provides that 'if no maximum building height is specified in a schedule to this zone, the building height should not exceed 11 metres'.

Schedule 1 to the General Residential Zone does not contain any location-specific requirements.

Advertised

4.3.2. Design and Development Overlay – Schedule 17

The subject site is situated with the Design and Development Overlay – Schedule 17 (DDO17) (Figure 8).

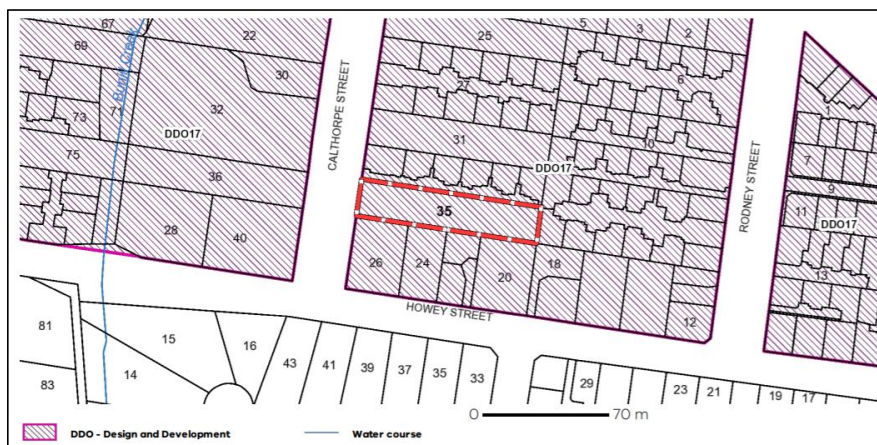


Figure 8: DDO17 Map (Source: Planning Maps Online, not to scale)

The purpose of the DDO is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development

In accordance with **Clause 43.02-2** Building and works, a permit is required to construct a building or construct or carry out works.

Schedule 17 of the DDO relates to the Gisborne Town Centre Residential Area. This Schedule includes the following design objectives:

- To implement design and development controls for the land in accordance with the Gisborne / New Gisborne Outline Development Plan, Revised Final Report, September 2009.
- To protect and enhance the established semi-rural and village character of the residential area surrounding the Gisborne town centre.
- To ensure that new development has proper regard for established streetscape and development patterns in terms of building design, height, form, scale, siting and fencing styles.
- To provide for a diversity of housing types, including catering for the needs of elderly persons and sole person households, within proximity of town services and public transport.
- To ensure existing significant vegetation is protected and to encourage the provision of a high quality landscaped setting for all new developments.
- To ensure that subdivision proposals enable new buildings to be integrated with their site and the surrounding area.
- To encourage innovative, high quality architecture and urban design that incorporates environmental sustainable development principles.
- To ensure new development respects it's natural and built environment and does not dominate the landscape.

A number of requirements are outlined at Clause 2 of the Schedule to the Overlay. A response to these requirements is provided at Section 5.3.2 of this report.

Advertised

4.3.3. Development Contributions Plan Overlay – Schedule 2

The subject site is situated with the Development Contributions Plan Overlay – Schedule 2 (DCPO2) (Figure 9).



Figure 9: DCPO Map (Source: Planning Maps Online, not to scale)

The DPO2 requires that development contributions are paid for new development, including residential development.

Schedule 2 to the Overlay identifies the site as being within Charge Area 8. Residential development within this Charge Area requires payment of \$410.35 per new residential lot created.

4.4. Other Provisions and Controls

4.4.1. Aboriginal Cultural Heritage Sensitivity

The western portion of the subject site is within an area of cultural heritage sensitivity, as identified within the Gisborne Structure Plan Heritage Assessment prepared by Extent Heritage Advisors and illustrated in Figure 10. This area of cultural heritage is associated with Bunjil Creek, which is a tributary of Jacksons Creek and forms part of a larger Indigenous landscape surrounding Jacksons Creek and South Gisborne Drain.

Under the *Aboriginal Heritage Regulations 2018*, development of a 'high impact activity' on land within an area of cultural heritage sensitivity requires preparation of a Cultural Heritage Management Plan (CHMP).

Under the *Aboriginal Heritage Act 2006*, where a CHMP is required, a planning permit cannot be issued for unless a CHMP has been approved for the activity.

Advertised



Figure 10: Aboriginal Cultural Heritage area map (Source: Planning Maps Online, not to scale)

4.4.2. Clause 52.06 Car Parking

This Clause outlines car parking requirements for the proposed development and provides that two car parking spaces should be provided to each three or more-bedroom dwelling, and that one car parking space should be provided to each one or two-bedroom dwelling. It also outlines that 1 visitor parking space should be provided for every 5 dwellings proposed.

4.4.3. Clause 55 Two or more dwellings on a lot

This Clause applies to applications which will provide for two or more dwellings on a lot. The Clause seeks to achieve residential development that respects the existing or preferred neighbourhood character. This Clause also encourages development that provides reasonable standards of amenity for existing and new residents. Any such development must meet all the objectives of the Clause and should meet all the standards of the Clause.

Advertised

5 PLANNING ASSESSMENT

5.1. Planning Policy Framework

In accordance with the PPF, the subject land is situated in an appropriate location for medium density development as it is within an established urban area zoned for residential use. The site has excellent access to the Gisborne Neighbourhood Activity Centre as well as access to local and public transport services. The site is also located close to public open spaces such as the Gisborne Rotary Park and U L Daly Reserve.

The proposal will facilitate sustainable development that takes full advantage of existing settlement patterns, community facilities and infrastructure, and will provide for higher density development with good access to public transport.

The proposal provides for a high-quality development which will increase housing diversity within the large district town of Gisborne and cater for changing household demands. The high-quality building and design quality will positively contribute to the existing streetscape and neighbourhood character of the area. It will also support people seeking alternative options to the dominant detached housing within the Shire. The proposed development will take advantage of its location to increase housing density in a manner which is safe, attractive, liveable, and functional. It will provide a housing product that is respectful of the existing and emerging neighbourhood character, being within a residential area where multi-unit developments are becoming increasingly common.

The proposed development has been designed to improve visual interest in the streetscape with the use of articulated facades and a variety of materials. High-quality landscaping and re-vegetation will also be provided to help integrate the development with the surrounding area and provide an attractive housing product. In addition, the design will integrate energy efficient and sustainable design principles, and will reduce the share of dwellings in greenfield, fringe and dispersed development areas.

5.2. Local Planning Policy Framework

Council's MSS strongly supports enhancing housing diversity in proximity to town centres in response to urban growth. The subject land is in an appropriate location for increased housing density, being situated within an area that is earmarked for medium density development at the centre of the Gisborne Township. The proposed development will help achieve the municipality's strategic objectives by facilitating the provision of different housing forms, other than detached single storey dwellings, while avoiding amenity impacts on the existing low-density areas within the township boundaries of Gisborne.

The proposed dwellings are designed to accommodate people with limited mobility, such as the ageing population, which is responsive to the municipal profile of the Macedon Ranges Shire. This is achieved by ensuring the ground level of every dwelling is accessible with provision of a master bedroom and ensuite bathroom, an open living, dining and kitchen area, a laundry, and a powder room for common use.

The proposal aligns with the land use vision outlined at Clause 21.03-2, by providing increased housing in an area that is appropriately zoned with minimal environmental constraints and is well serviced by social and physical infrastructure. It will also alleviate pressure for future residential development outside the existing township boundary by increasing the residential density in a highly serviced area.

With Gisborne forecast to accommodate the vast majority of growth to become the Regional Centre of Macedon Ranges Shire by 2036, it is essential that planning facilitates growth in appropriate locations such as at 35 Calthorpe Street. The proposal supports the preservation of Macedon Ranges' significant landscapes by providing for housing growth in an area earmarked for medium density development and in an area that does not threaten the significant ecovalues of the municipality.

In accordance with Clause 21.08-3 and Clause 21.09, the proposed dwellings will provide environmentally sustainable housing growth that respects the existing character values of the surrounding area and is responsive to the Shire's changing household demographic. The site is well positioned within Gisborne, being within a walkable distance to the town centre and various community facilities.

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The proposal provides housing growth in accordance with the Gisborne/New Gisborne Framework Plan, by providing increased housing density within 400 metres of the Gisborne town centre and within an area identified by the Framework Plan as a *preferred area for medium density housing*. The proposal also contributes positively to the landscape elements of the neighbourhood by retaining the large English Oak tree within the front setback of the property and providing ample opportunity for revegetation throughout the site. The development will be well integrated within the street and will contribute positively to the existing garden character of Gisborne.

The proposed two storey dwellings will incorporate a mix of materials that will enhance the quality and character of housing in the area while ensuring the housing is consistent with and respectful of the existing streetscape. Multi-dwelling developments are becoming increasingly common in the area, as evident at 27 Calthorpe Street developed in 2019 (**Figure 11**) and 14-16 Rodney Street, Gisborne developed in 2010 (**Figure 12**).



Figure 11: Modern infill dwellings at 27 Calthorpe Street, Gisborne



Figure 12: Modern infill dwellings at 14-16 Rodney Street, Gisborne

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The proposal will provide a housing product that can accommodate the various needs of a diverse population while ensuring a high 'quality of life' is achieved within both the proposed development (internal amenity) and the broader area (external amenity). All dwellings will be provided with appropriate private open space and will be in proximity to areas of public open space. Additionally, landscaped setbacks along with modern, articulated facades will provide amenity for future residents and improve the visual amenity of the streetscape. The arrangement of the units in an orderly row, located behind one another, ensures a consistency of spacing is maintained within the streetscape.

5.3. Zone and Overlay Controls

5.3.1. General Residential Zone – Schedule 1

The proposal is consistent with the strategic intent of the GRZ1 as it will facilitate consolidation of residential development in an area that has excellent access to existing services and transport.

Consistent with the purpose of the GRZ1, the proposal will:

- Provide a diversity of housing types and housing growth in an appropriate location with excellent access to existing services and infrastructure, through the provision of six residential dwellings.
- Provide for high quality housing development that respects the neighborhood character and streetscape pattern of the area.

As previously identified, the subject site is well serviced by social and physical infrastructure with the Gisborne Activity Centre being approximately 400 metres to the north-west. A local bus stop is within approximately 200 metres of the site, and the Gisborne V-Line Railway Station is conveniently accessible via Station Road. Such excellent proximity to local services will provide increased opportunities for residents and will reduce car dependency. Due to this proximity, the subject site is ideally located for medium density development.

Consistent with the provisions of Clause 32.08-10, the maximum building height of the proposed dwellings will be 8.69 metres, which is below the 11-metre height requirement of the GRZ1. Additionally, the dwellings will not exceed two storeys at any point, which meets the requirements of the GRZ.

5.3.2. Design and Development Overlay – Schedule 17

The proposal is consistent with the DDO17 as it will provide a high-quality design outcome that is sustainable and has regard for the established streetscape and development patterns.

An assessment of the proposal against the requirements outlined at Clause 2 of the Schedule to the DDO is provided in **Table 2** below.

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Table 2: DDO17 Buildings and Works Requirements

Requirement	Development Response
<i>Proposed built form must demonstrate its compatibility with the surrounding residential and semi-rural character and scale with the use of appropriate building materials, colours, height, detailing and setbacks.</i>	The proposed dwellings are highly compatible with the residential character and scale of the surrounding area. The buildings incorporate a variety of materials including brick as is present across a number of existing dwellings, as well as other contemporary finishes. Consistent with the surrounding built form, the proposed dwellings will not exceed a height of 8.69 metres or two storeys at any point, and appropriate front, side and rear setbacks are incorporated.
<i>Building articulation and massing must create interest, and break-up blank walls to reduce the overall appearance of bulk.</i>	The proposed dwellings are well articulated, with incorporation of various building materials and avoidance of any blank or sheer walls. The dwellings will not appear bulky when viewed from Calthorpe Street or surrounding properties.
<i>Maintaining or creating breaks in built form must be provided to create the appearance of openness and protect significant view lines.</i>	The proposed dwellings are well spaced within the site, with breaks in the built form provided between each dwelling at the upper level as well as generous spacing at the ground floor level. This creates an appearance of modesty and openness throughout the site.
<i>Variations in housing style and typology and avoidance of repeating facades, colours and materials must be demonstrated.</i>	The proposal provides a unique and contemporary building design that is respectful of the existing neighbourhood character. The building avoids repetition of colours and materials along its façades, which creates interest in the streetscape.
<i>Garages must not be the dominant front façade element of the dwelling and/or the streetscape.</i>	Garages will have frontages to the internal common driveway and therefore will avoid visual impact on the streetscape of Calthorpe Street.
<i>Double storey dwellings must ensure that the upper level area (including balconies) does not exceed 80 percent of the ground floor area (excluding verandahs and balconies) and is stepped back.</i>	The upper level area of the dwellings equates to a maximum of 74% of the respective ground floor area, and the upper level to each dwelling is appropriately stepped back to reduce the bulk of the built form.
<i>Proposed double storey buildings on lots less than 500 square metres must demonstrate that a kitchen, bathroom, toilet and at least one bedroom can be accommodated on the ground floor to cater for the needs of persons with limited mobility.</i>	All proposed dwellings are accessible for people with limited mobility, with a bedroom, bathroom, living room, dining room, kitchen, and laundry provided on the ground level.
<i>Dwellings must be designed to maximise private open space.</i>	The dwellings are each provided with generous amounts of private open space areas that range between 42m ² -116m ² to ensure an excellent amenity outcome is achieved for the residents.

Advertised

Landscaping and plant selection must protect existing vegetation where possible and integrate with the existing landscape character of the area.

Where possible, vegetation ~~will be retained on the site~~ to protect the existing landscape character of the area. Additionally, sufficient space is provided throughout the site for landscaping and revegetation.

Front setback areas must be of an adequate size and shape to provide for adequate planting, where appropriate.

The proposal provides a generous front setback with a minimum dimension of 10.5 metres. This ensures sufficient space is afforded for planting in addition to the large English Oak tree that is to be retained within the front setback area.

Solid front fencing / screening must be avoided.

No front fencing is proposed as part of this application, which is consistent with the existing pattern of development in the streetscape.

5.3.3. Development Contributions Plan Overlay – Schedule 2

The Development Contributions Plan Overlay – Schedule 2 (DCPO2) applies to the site. As discussed at Section 4.3.3 of this report, a payment of \$410.35 per new lot created within the applicable charge area is required for all new residential development. A payment will be made in compliance with this Overlay, as appropriate.

5.4. Other Provisions and Controls

5.4.1. Aboriginal Cultural Heritage Sensitivity

The western portion of the subject site is within an area of cultural heritage sensitivity. As the proposed development of six dwellings constitutes as 'high impact activity', preparation of a Cultural Heritage Management Plan (CHMP) is required. Accordingly, Heritage Insight was engaged in November 2020 to undertake an assessment of the site and prepare a CHMP. The works are still underway, though it is expected that a completed CHMP will be provided to Council to accompany this planning permit application in the coming weeks.

5.4.2. Clause 52.06 Car Parking

Consistent with Clause 52.06, two car spaces will be provided to each dwelling that has 3 bedrooms, and one car space will be provided to Dwelling 5 with 2 bedrooms. All car spaces are contained within secure double garages, in a convenient and safe location. In addition, one visitor parking space is provided on the site, which is positioned at the rear (east) of the shared accessway. The proposal meets the requirements of Clause 52.06.

5.4.3. Clause 55 Two or More Dwellings on a Lot

The proposal is entirely consistent with the Objectives and Standards set out in Clause 55 'Two or More Dwellings on a Lot and Residential Buildings'. It will provide residential development that enhances the character of the area and is responsive to the site and surrounding environment. The proposal will improve the amenity of the streetscape through the provision of a high-quality and well-articulated development. It will also provide a good level of amenity for future residents with the provision of spacious open plan living areas and well-connected open space areas. The front and side setbacks as well as recessed upper storeys will ensure the buildings do not dominate the surrounds and are consistent with the prevailing built form that provides for a sense of spacing within the streetscape.

The residential area surrounding the site is characterised by an emerging pattern of modern infill development, including a mix of single and double storey multi-dwelling developments. Many of the surrounding medium density developments are contained within lots of a similar shape and size to that of the subject site. The use of a variety of materials incorporated in a modern design will ensure the street-facing façade of proposed Dwelling 1 is well articulated and respectful of the existing and emerging neighbourhood character. The proposed density is consistent with Council's vision for future land use at the site.

Advertised

All dwellings have been designed and sited to minimise internal and external overlooking, overshadowing and any other adverse impacts on neighbouring dwellings. Each of the dwellings will have adequate private open space with sufficient solar provision, and convenient access from the living area.

The site is located within a highly accessible area, being within 400 metres of the Gisborne Town Centre, approximately 200 metres from a local bus stop, and with convenient access to the Gisborne V-Line Railway Station. Additionally, a freeway entrance to the Calder Freeway is approximately 1.2 kilometres to the east of the site via Melbourne Road. All dwellings can be connected to reticulated water, electricity, and sewerage services.

The proposal is consistent with the Planning Policy Frameworks, which seek to encourage higher density development to accommodate increasing housing demand in the municipality and particularly within Gisborne.

The proposed development demonstrates compliance with the ResCode standards, and a detailed assessment of the proposal against the provisions of Clause 55 is provided at **Appendix A**.

6 CONCLUSION

In summary, it is submitted that the proposal is consistent with the objectives and strategies of both the State and Local Planning Policy Framework as set out in the Macedon Ranges Planning Scheme, which in part seek to encourage urban consolidation in appropriate locations within Gisborne.

The proposal is considered appropriate for the following reasons:

- The proposal achieves both the State and Local planning policy objectives and will provide for medium density housing within a well serviced area close to the Gisborne Activity Centre.
- The proposal is consistent with the strategic intent and purpose of the General Residential Zone – Schedule 1 (GRZ1), and will provide for moderate housing growth in an existing urban area that is in proximity to transport networks, open space areas and services.
- The proposal will provide a unique and high-quality building outcome to contribute positively to the existing neighbourhood character of the area.
- The proposal will make efficient use of the existing infrastructure within Gisborne and will assist in reducing pressure for urban development outside defined growth boundaries.
- The proposal provides sufficient car parking to cater for the needs of future residents.
- The proposal will incorporate appropriate setbacks so as to not be visually intrusive or bulky to neighbouring properties or the streetscape.
- The proposal meets all the objectives and strategies of Clause 55 and will provide a generous amount of private open space. The development will achieve excellent internal and external amenity and will minimise the potential for overlooking.

For the reasons outlined above, which have been expanded upon throughout this report, it is respectfully requested that Macedon Ranges Shire Council support the application and issue a planning permit to allow for the development of six dwellings at 35 Calthorpe Street, Gisborne.

BEVERIDGE WILLIAMS

Updated August 2021

Advertised

APPENDIX A: CLAUSE 55 ASSESSMENT

APPENDIX B: CERTIFICATE OF TITLE

Advertised

APPENDIX C: TOWN PLANNING DRAWINGS

Advertised

APPENDIX D: SWEPT PATH ANALYSIS

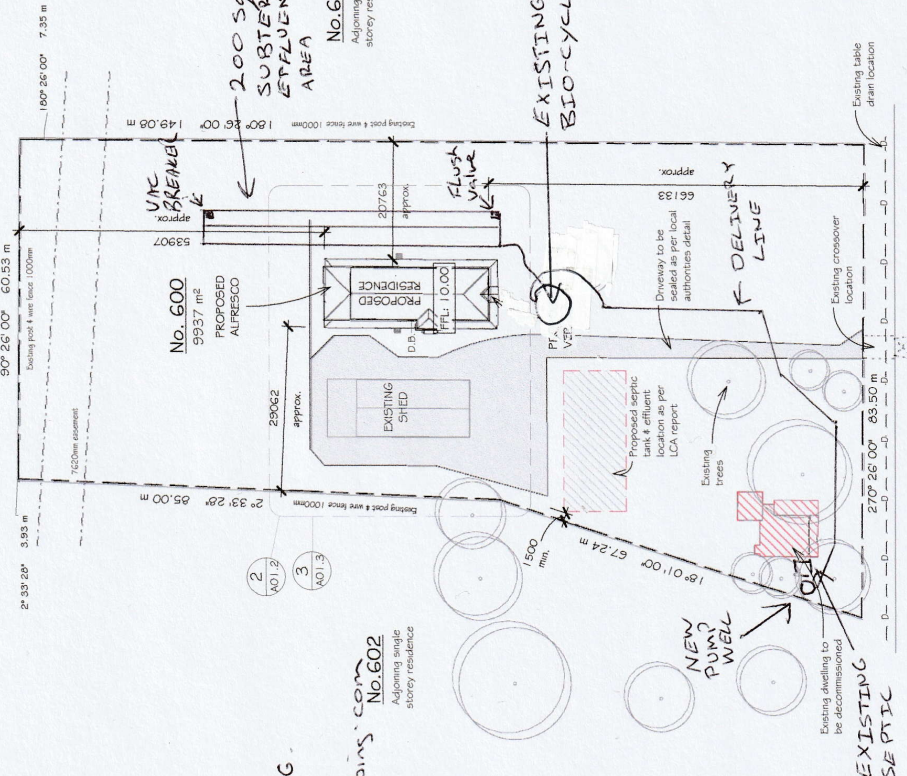
Advertised

APPENDIX E: ARBORICULTURAL REPORT

Advertised

PROPOSED Pump well & Subterranean Effluent Disposal area. 12/06/2021

Site Area: 9937.00m²
 Building Area: 705.10m²
 Coverage: 7.10%
 Permeability: 92.90%



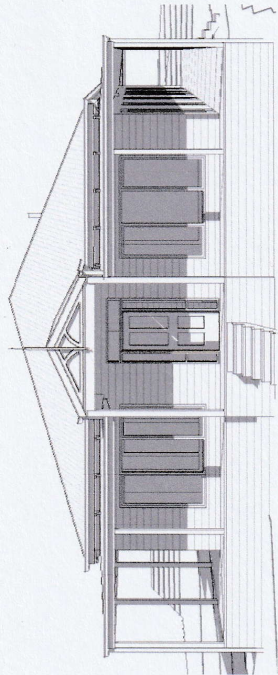
EFFLUENT LOCATION NOTE:
 All works to be carried out to local authorities and relevant Australian Standards & to Land Capability Assessment Report# E5491 as prepared by groundscience 29/09/16.

THE SEPTIC GUY
 Wastewater PLUMBING
 0457 898 463
 paul@wastewaterplumbing.com

TOWN PLANNING NOTE:
 The proposal plans are to be read in conjunction with the planning permit conditions. The applicant is responsible for ensuring that all planning conditions are met at the completion of works.



B Site Locality Plan
 N.T.S.



A Perspective View

PERSPECTIVE VIEW NOTE:
 Perspective / 3D images are shown for illustrative purposes only, refer to plans and elevations for full details.

BUSHFIRE REQUIREMENTS
 The site is in a designated bushfire prone area and has been assessed as:
BAL-12.5
 Refer to builder report for further details and building specifications.

TERMITE REQUIREMENTS
 This site is assessed as being termite prone. Termite damage to the structure must be prevented and details to be provided in accordance with AS3545.1
TERMITE PRONE

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DRAWN CHECKED
 Ted Lord
 Building Practitioners Board
 Reg No DP - AD1195

ML
 Ted Lord
 Building Practitioners Board
 Reg No DP - AD1195

1 Site Plan
 1 : 750



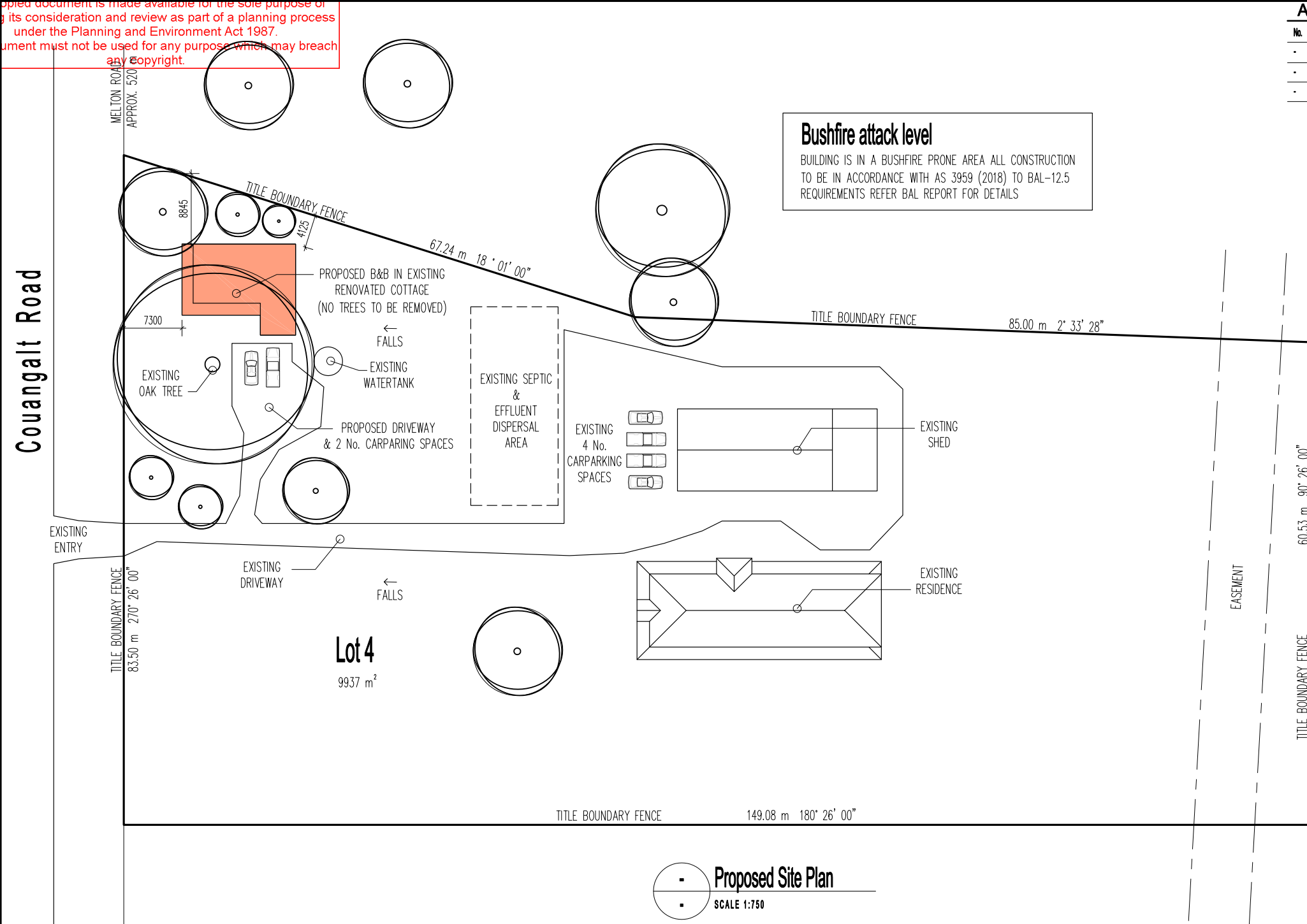
FOR: Nick Hannett	SHEET NO. A01.1
AT: No. 600 (Lot 4) Couangalt Road, Gisborne 3437	REVISION:
	JOB NO. 16290

PROPOSED: Single Storey Residence
ISSUE DATE: 27 March 2017
ISSUE STATUS: Construction Issue

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Amendments		
No.	DESCRIPTION	DATE
-	PRELIMINARY ISSUE	15.03.21
-	PRELIMINARY ISSUE	11.03.21
-	PLANNING APPROVAL ISSUE	15.03.21



Bushfire attack level
BUILDING IS IN A BUSHFIRE PRONE AREA ALL CONSTRUCTION TO BE IN ACCORDANCE WITH AS 3959 (2018) TO BAL-12.5 REQUIREMENTS REFER BAL REPORT FOR DETAILS

General Notes

ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA 2019 AND LOCAL COUNCIL BYLAWS

FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE AND ALL DISCREPANCIES TO BE REPORTED TO OWNER PRIOR TO COMMENCEMENT OF WORK

CONNECT STORMWATER DRAINAGE TO RAINWATER TANKS WITH SITE DISPERSAL OVERFLOWS TO LOCAL AUTHORITY APPROVAL

LEVELS SHOWN ARE APPROXIMATE ONLY (BUILDER TO VERIFY ALL LEVELS PRIOR TO COMMENCEMENT OF WORK)

ALL TIMBER FRAMING & BRACING SHALL BE BUILT IN ACCORDANCE WITH AS 1684 TO THE SATISFACTION OF THE BUILDING INSPECTOR

ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH AS 1288

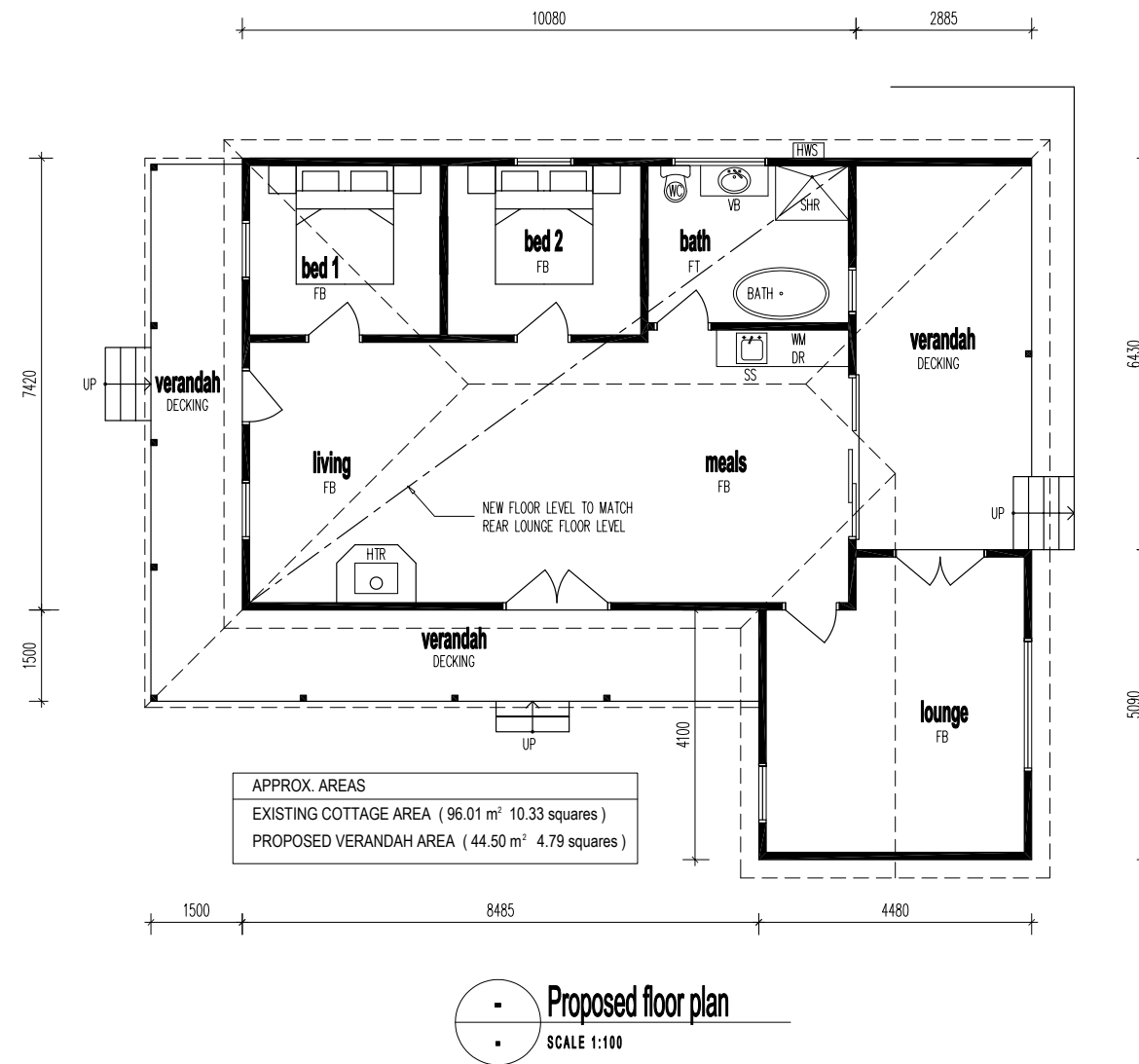
INSTALL TERMITE PROTECTION TREATMENT TO AS 3660.1 REQUIREMENTS

Proposed alterations to existing cottage building for bed & breakfast accomodation at No.600 Couangalt Road Gisborne for N Hannett

15 High St Woodend 3442 Building Practitioner Registration No. DP-AD 335	ph 03 5427 2663 email admDES@netcon.net.au	Project Municipality Macedon Ranges Shire Council	admDesign ABN 71 831 621 712	Nth	Job No. 21024 Date 15.03.21	Scale 1:750 (at A3 size) Drg No. TP-01
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-	PRELIMINARY ISSUE	11.03.21
-	PLANNING APPROVAL ISSUE	15.03.21



- Legend**
- CA CARPET
 - DP 90# DOWNSPIPE ALL CONNECTED TO STORMWATER SYSTEM CONNECTED TO WATER TANKS
 - DR CLOTHES DRYER
 - FB SELECTED TIMBER FLOOR BOARDS
 - F FIXED GLAZING
 - FT SELECTED FLOOR TILES
 - HTR WOOD HEATER INSTALLED TO BCA & MANUFACTURERS REQUIREMENTS
 - HWS HOT WATER SYSTEM
 - O OPENABLE WINDOWS
 - RB BUILT IN ROBE WITH FIXED SHELF & HANGING RAIL
 - SHR SHOWER BASE & SAFETY GLASS SCREEN
 - SS STAINLESS STEEL SINK
 - TD SELECTED TIMBER DECKING
 - TF TIMBER FLOORBOARDS
 - VB VANITY BASIN WITH CUPBDS BELOW
 - WC WATER CLOSET
 - WM WASHING MACHINE

Proposed alterations to existing cottage building for bed & breakfast accomodation at No.600 Couangalt Road Gisborne for N Hannett

15 High St Woodend 3442
Building Practitioner Registration No. DP-AD 335

ph 03 5427 2663
email admDES@netcon.net.au

Project Municipality
Macedon Ranges Shire Council

admDesign
ABN 71 831 621 712

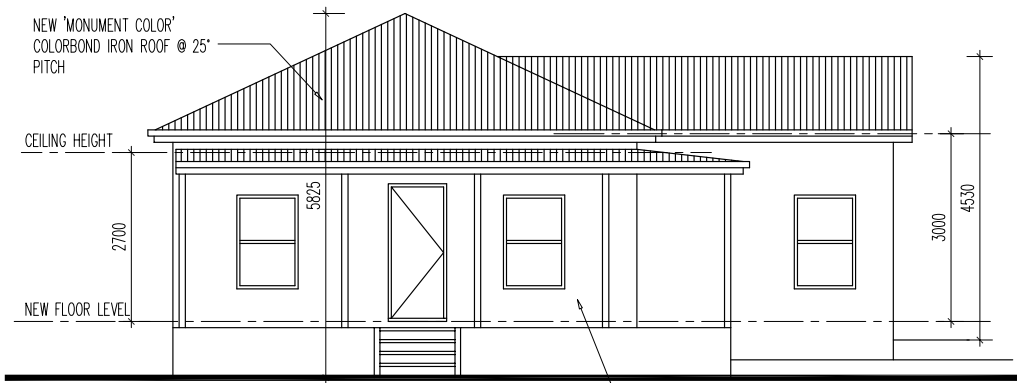


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Date 15.03.21

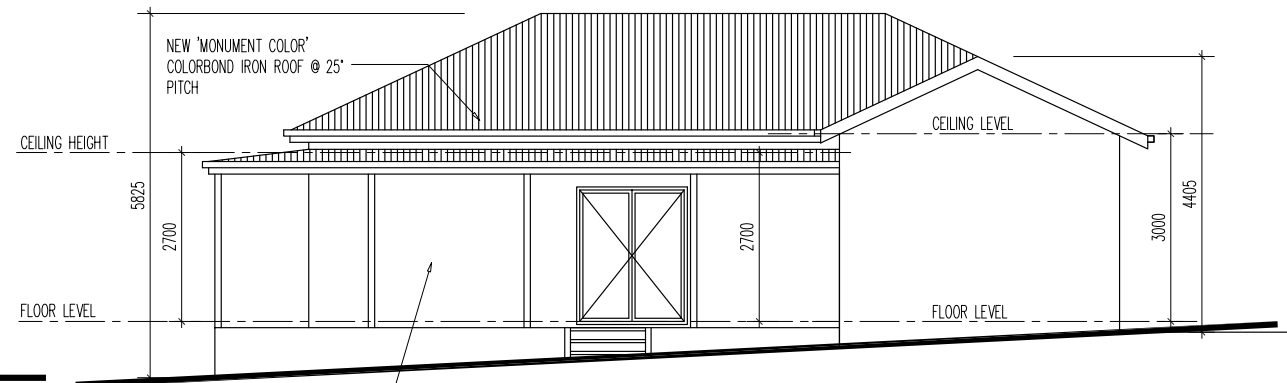
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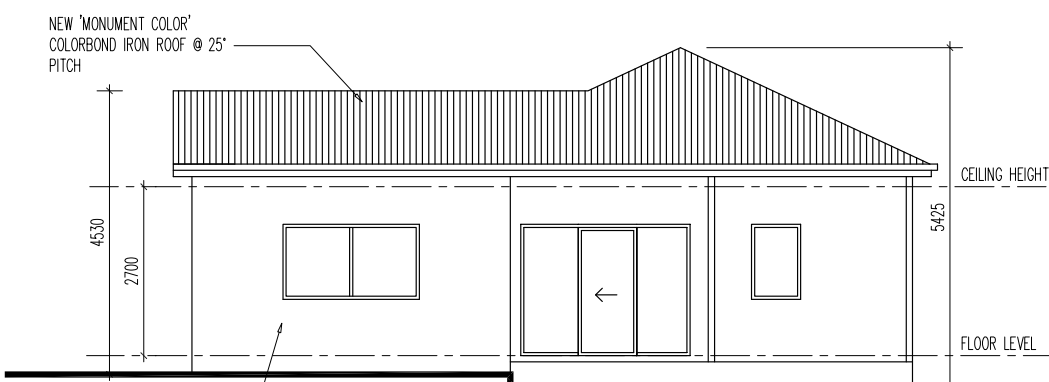
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-	PRELIMINARY ISSUE	11.03.21
-	PLANNING APPROVAL ISSUE	15.03.21



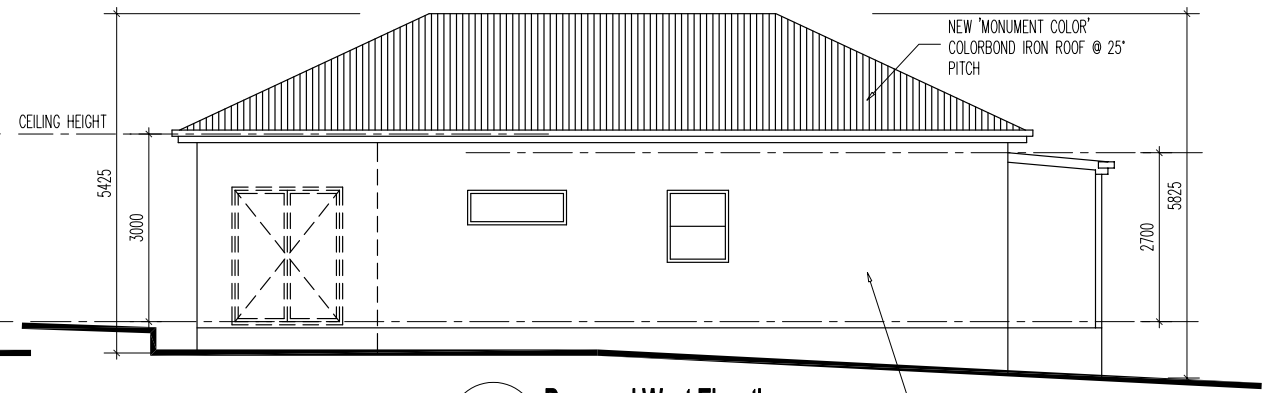
Proposed South Elevation
SCALE 1:100



Proposed East Elevation
SCALE 1:100



Proposed North Elevation
SCALE 1:100



Proposed West Elevation
SCALE 1:100

Proposed alterations to existing cottage building for bed & breakfast accomodation at No.600 Couangalt Road Gisborne for N Hannett

15 High St Woodend 3442
Building Practitioner Registration No. DP-AD 335

ph 03 5427 2663
email admdes@netcon.net.au

Project Municipality
Macedon Ranges Shire Council

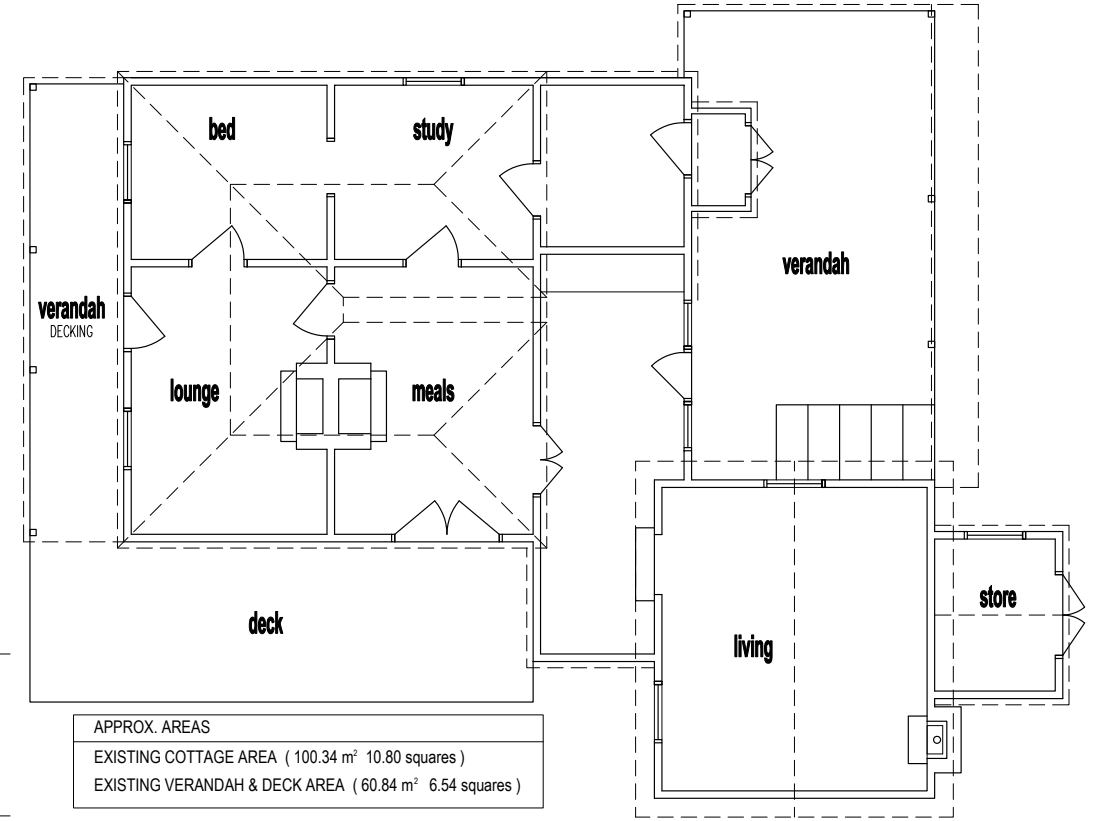
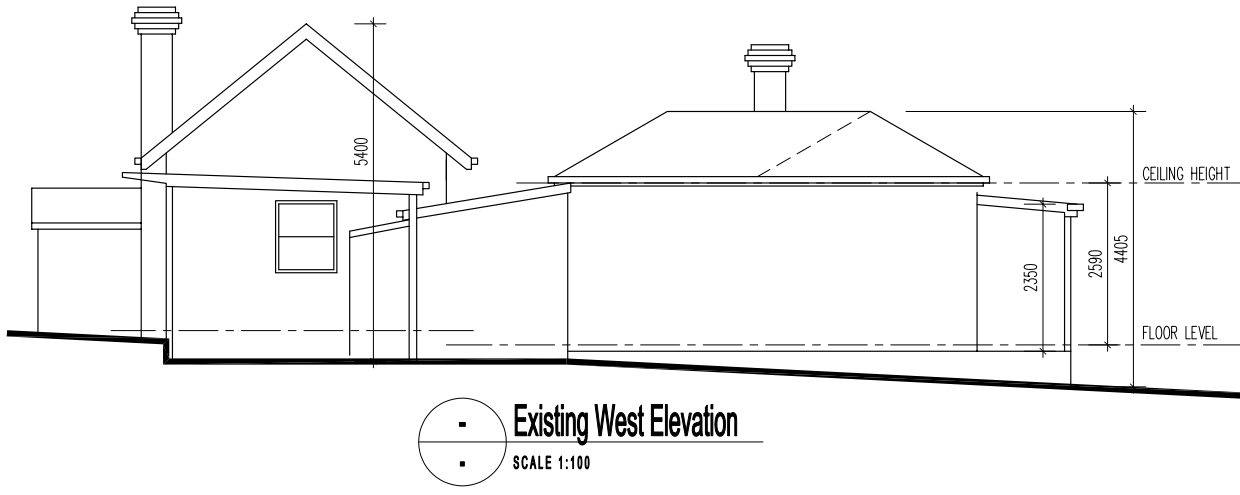
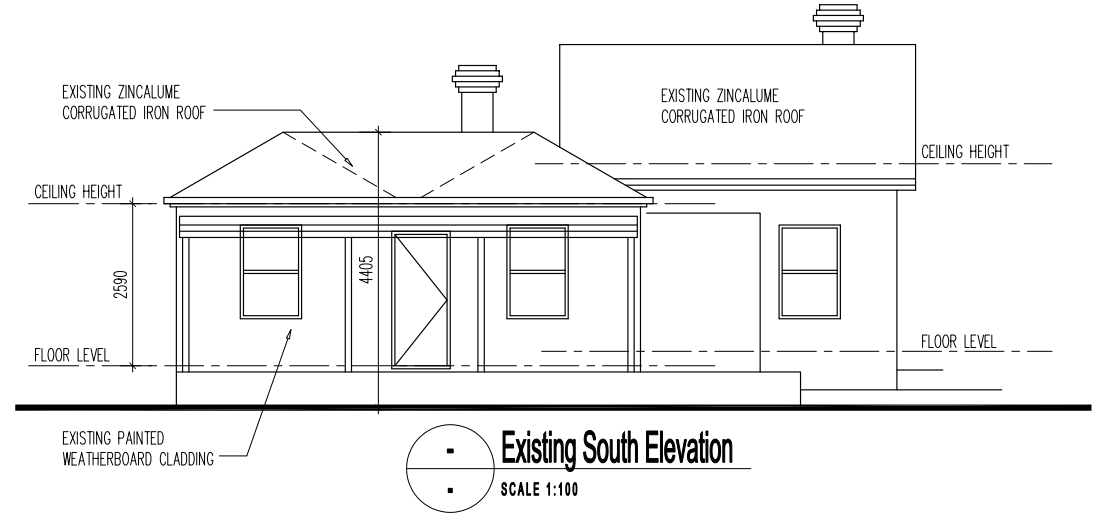
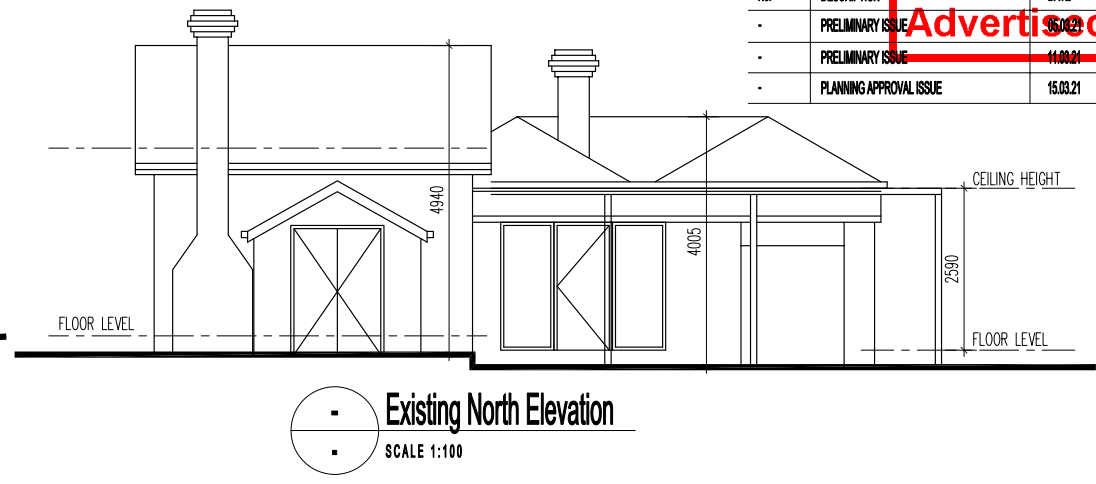
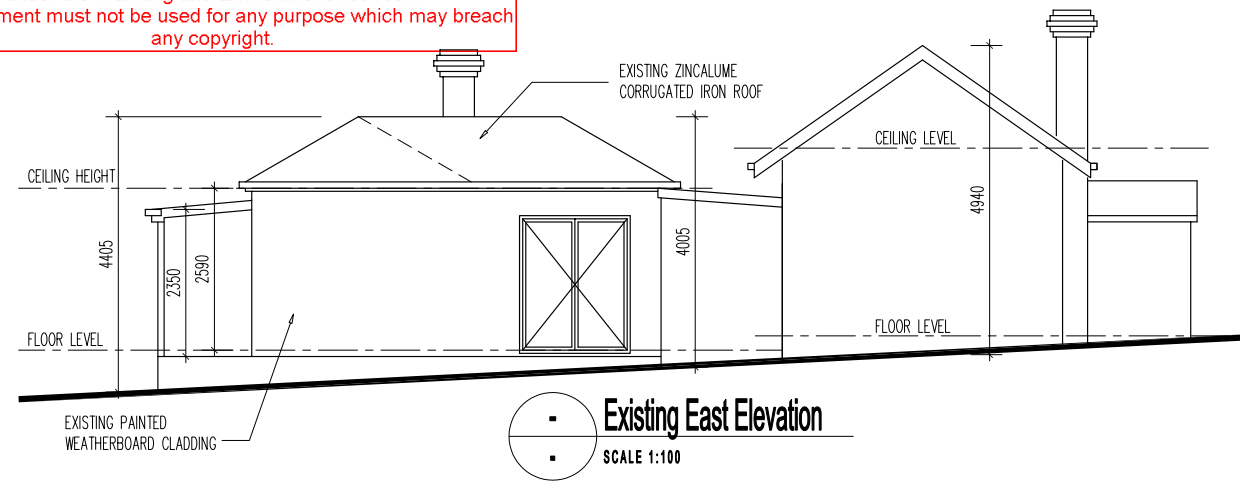
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Job No. 21024
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-	PRELIMINARY ISSUE	11.03.21
-	PLANNING APPROVAL ISSUE	15.03.21



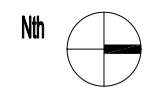
Proposed alterations to existing cottage building for bed & breakfast accomodation at No.600 Couangalt Road Gisborne for N Hannett

15 High St Woodend 3442
Building Practitioner Registration No. DP-AD 335

ph 03 5427 2663
email admDES@netcon.net.au

Project Municipality
Macedon Ranges Shire Council

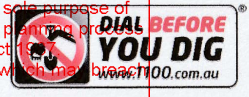
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Date 15.03.21

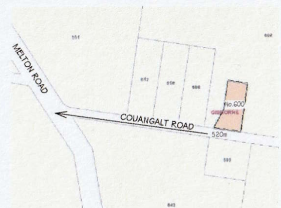
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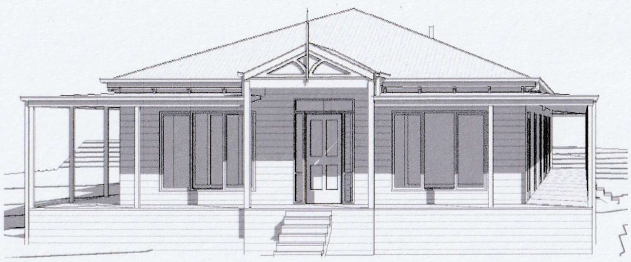


TOWN PLANNING NOTE:
 The proposed plans are to be read in conjunction with the planning permit and all applicable conditions. Builder to allow for all works to comply and include all required conditions in accordance with the planning permit and shall be responsible that all planning conditions are met at the completion of works.

EFFLUENT LOCATION NOTE:
 All works to be carried out to local authorities and relevant Australian Standards & to Land Capability Assessment Report# E2401 as prepared by GroundScience 29/09/16.



B Site Locality Plan
 N.T.S.

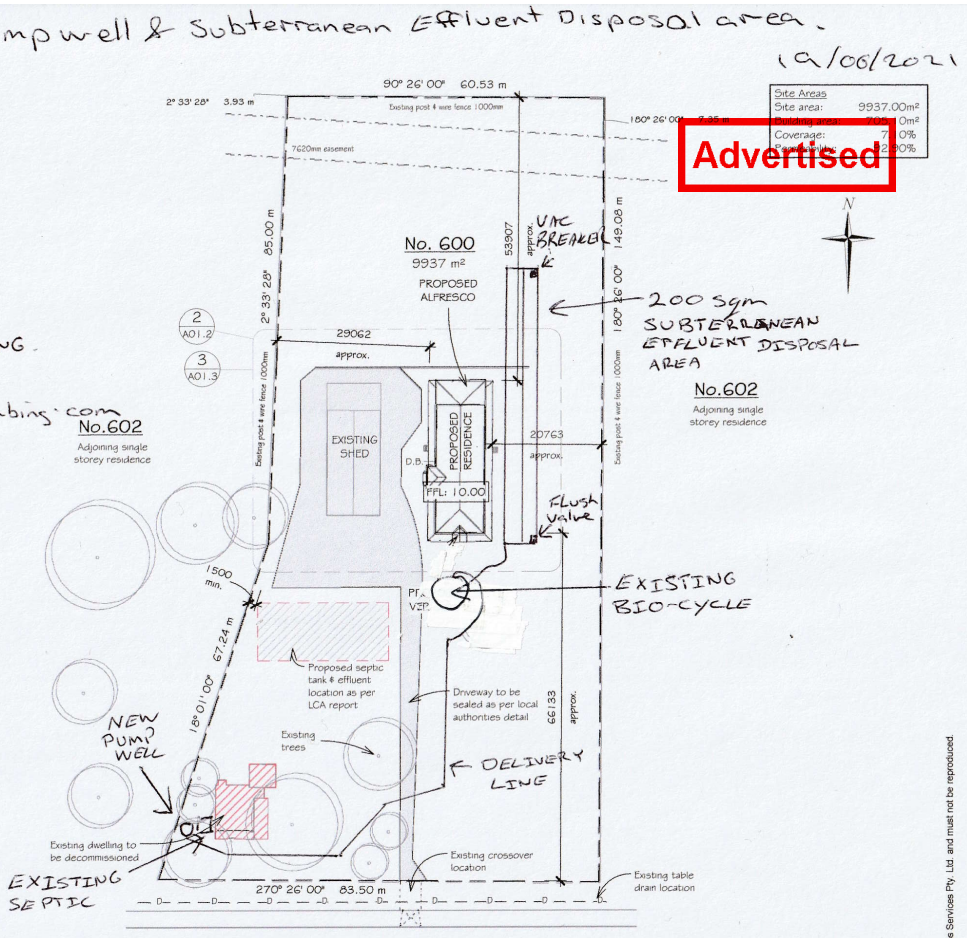


A Perspective View

PERSPECTIVE VIEW NOTE:
 Perspective / 3D images are shown for illustration purposes only, refer to plans and elevations for full details.

BUSHFIRE REQUIREMENTS
 The site is in a designated bushfire prone area and has been assessed as:
BAL-12.5
 Refer to bushfire report for further details and bushfire specifications.

TERMITE REQUIREMENTS
 This site is assessed as being termite prone. Termite (termite) management construction requirements are to be provided in accordance with AS3660.1
TERMITE PRONE



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DRAWN ML
CHECKED Ted Lord
 Building Practitioners Board
 Reg No DP - AD1195

PROPOSED: Single Storey Residence
ISSUE DATE: 27 March 2017
ISSUE STATUS: Construction Issue

FOR: Nick Hannett
AT: No. 600 (Lot 4) Couangalt Road, Gisborne 3437

SHEET SIZE: A3
JOB NO: 16290
SHEET NO: A01.1
REVISION:

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Waste and Resource Recovery Management Strategy 2021-2026



Strategic Plan Title:	Waste and Resource Recovery Management Strategy 2021-2026	
Date of Adoption:		
Adoption Method:	<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Executive
CEO Signature:		Insert date of CEO's signature.
Manager:	Gary Randhawa, Manager Engineering and Resource Recovery	
Department:	Engineering and Resource Recovery	
Unit:	Resource Recovery	
Term:	Five Year Strategy 2021-2026	
Nominated Review Period:	<input type="checkbox"/> Annually	<input type="checkbox"/> Biennially
Proposed Review Date:	November 2026	



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Abbreviations

CDS	Container deposit scheme
DELWP	Department of Environment, Land, Water and Planning
EPA	Environment Protection Authority
FOGO	Food organics and garden organics
FY	Financial year
L	Litre
LMWRRG	Loddon Mallee Waste and Resource Recovery Group
MRSC	Macedon Ranges Shire Council
Q	Quarter



1. Introduction

This Waste and Resource Recovery Management Strategy 2021-2026 supersedes the Council's previous Waste Management Strategy 2015-2020. The previous strategy was adopted in 2015 and spanned a period which saw significant changes to Australia's waste and resource recovery sector.

The Council undertook a review to ensure that the Waste Management and Resource Recovery Strategy 2021-2026 aligns with contemporary industry and community trends and needs. The review acknowledged completed actions in the 2015-2020 strategy and maps the Council's activities for the next five years.

The Waste and Resource Recovery Management Strategy 2021-26 provides sustainable solutions for the collection, disposal and resource recovery from waste generated within our community. It contains measurable targets and actions to be undertaken by the Council over the next five years.

Updates included in this strategy comprise of the following:

1. Where previous strategy actions are still relevant, and the Council can progress or improve, the new strategy continues these actions. The central focus of the new strategy is the diversion of waste from landfills. Despite significant progress in this area, there are still improvements to be made.
2. The strategy incorporates focus areas which align the Council's strategic goals with the waste management hierarchy and recent Victorian Government policy objectives. Education is essential in changing waste management attitudes and behaviours.
3. Updated objectives and goals to align with the current service provision, industry changes, new state policy and circular economy principles.

Waste and resource recovery services impact the entire community and account for approximately 10% of Council's total annual budget. The environmental impacts of collecting, transporting, processing resources and disposing of waste are a significant part of Council's carbon footprint.



2. Strategic framework

This section outlines relevant council policies and plans plus external policies and legislation that impact current and future waste and resource recovery activities.

Waste policy reform at both a Commonwealth and Victorian Government level has seen a renewed focus on the circular economy, the development of local markets for recycled products and restrictions on offshore processing of materials. This policy has led to an increased need for additional localised recyclable materials and organics processing capacity.

2.1 Vision and plan

2.1.1 Waste and Resource Recovery Vision and principles

The Macedon Ranges Shire Council's waste and resource recovery vision is:

The Macedon Ranges Shire Council provides leadership and empowers the community to create a sustainable future by avoiding and reducing waste, and increasing the re-use and recovery of material resources for improved productivity and environmental protection.

The following principles guide the development of the waste and resource recovery strategy.

Education

- Waste is a shared responsibility
- Empower the community to avoid and minimise waste and increase resource recovery as part of the Council's climate emergency response.

Transparency

- Build trust in recycling reliability and practice.



Council run schools information session



Macedon Ranges
Shire Council

Waste and Resource Recovery Management Strategy 2021-2026

Page 3

Resilience

- Utilise data, monitoring and evaluation of services to improve performance
- Partner with other councils and contractors to improve the waste and resource management practices for all waste streams.

Sustainability

- Phase out non-recyclable packaging and items including single-use plastics and 'biodegradable' plastics within Council operations
- Continue waste reduction and associated emissions reduction in all Council activities
- Provide leadership in waste management services and practices to build a sustainable community and economy
- Investigate local options for processing and re-using our resources and contribute towards the circular economy shift
- Local processing of organics
- Re-use of glass in local civil infrastructure projects.

Advocacy

- Advocate for statewide and nationwide phase out of non-recyclable packaging and items, including single-use plastics and 'biodegradable' plastics.

2.1.2 Council Plan 2021-2026

Our Council Plan 2021-2026 includes the Community Vision Theme of "Healthy environment, healthy people". Which is particularly relevant to the waste and resource recovery strategy. The strategic objective under this theme states "We will take action to reduce waste in order to protect public health and the environment".

2.2 Victorian Government**2.2.1 Recycling Victoria: A new economy**

The Victorian Government's 2020 *Recycling Victoria: A New Economy* is Victoria's circular economy policy and 10-year action plan to transform the way materials are managed. A circular economy can be defined as one that *'continually seeks to reduce the environmental impacts of production and consumption, while enabling economic growth through more productive use of natural resources'* (DELWP 2020).

A circular economy sees continual reuse and recycling of materials, reducing the need for extraction of virgin materials, the amount of waste disposed to landfill and our environmental footprint. It underpins waste and resource recovery planning at



both the state and federal level, and requires a national economic response for implementation.

The circular economy concept is illustrated in Figure 1.

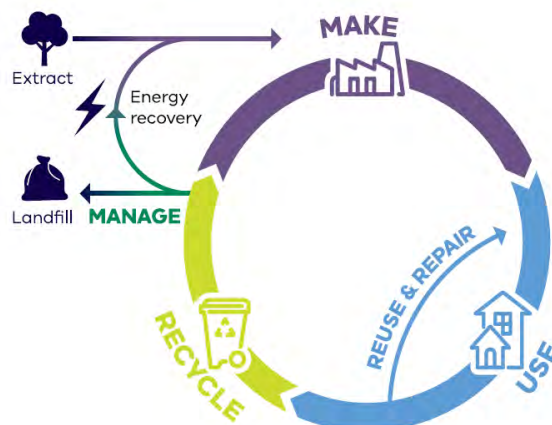


Figure 1 – The Circular Economy (Source: Recycling Victoria: A New Economy, 2020)

Applying the circular economy principles means developing a strategy that:

- encourages design, manufacturing and production processes that use recovered materials
- supports the reuse and repair of manufactured goods
- improves the separation of recyclable materials and diverts more valuable resources from landfill
- enables the community to support reuse and repair and make informed choices when purchasing goods
- establishes and/or advocates for development of new, improved recovery and recycling infrastructure that extracts the full value from materials
- identifies and supports the development of local markets for recovered materials
- participates in and advocates for procurement that supports markets using recovered materials.

Of most relevance to local government is Recycling Victoria's objective of kerbside reform which will see a standardised 4-bin waste and recycling system for households across the state by 2030. Macedon Ranges Shire Council is one of only a few councils currently leading the state in achieving the policy's kerbside reform objectives, having implemented kerbside glass and FOGO collection in

2020. The next step will be to further investigate local processing options for these waste streams.

2.2.2 Environment Protection Authority

The Environment Protection Authority (EPA) is responsible for oversight of Victoria's principal legislation for environment protection. New legislation (the *Environment Protection Act 2017* supported by various new regulations) came into effect on 1 July 2021¹ and shifts the focus from managing environmental impacts as they occur to preventing waste and pollution. Key changes introduced include:

- a general environmental duty, which holds anyone involved in activities with potential risk of harm responsible for removing and reducing environmental and human health risks
- a three-tiered permissions framework to replace the current EPA licence system
- a new waste classification system that categorises waste based on the risk that it poses
- increased penalties
- a requirement to make unrestricted environmental information available to all Victorians
- new community rights for those affected by alleged breaches of the environment protection laws.

Council has a number of new responsibilities under this legislation to address its waste management and resource recovery requirements.

2.2.3 Sustainability Victoria

In 2018, Sustainability Victoria released the Statewide Waste and Resource Recovery Infrastructure Plan (SWRRIP), Victoria's current roadmap to guide planning and investment in waste and resource recovery infrastructure to 2040. By identifying infrastructure needs across the state, the SWRRIP guides investment decisions made by the waste and resource recovery industry, local and state governments and influences land use planning, transport, and broader environmental policy.

The SWRRIP is currently under review by Sustainability Victoria, and is expected to shortly be replaced by the new Victorian Recycling Infrastructure Plan.

¹ The commencement date was deferred due to the COVID pandemic.



Sustainability Victoria has also released a number of other strategic documents including:

- the Victorian Market Development Strategy for Recovered Resources aims to stimulate markets for recovered resources by reducing barriers and supporting the right conditions for material and product markets to grow and mature
- the Victorian Waste Education Framework provides a coordinated approach to waste and resource recovery education in Victoria
- the Victorian Organics Resource Recovery Strategy outlines the goals, directions, outcomes and actions for improving the management and recovery of organic waste
- the Collaborative Procurement Framework outlines a consistent approach to identifying, assessing and planning collaborative procurement of waste and resource recovery infrastructure and services
- the Infrastructure Facilitation Framework provides a coordinated, consistent and long-term approach to promoting and facilitating waste and resource recovery investment opportunities locally and abroad.

2.2.4 Loddon Mallee Regional Waste and Resource Recovery Group

The Loddon Mallee Waste and Resource Recovery Group (LMWRRG) is a statutory authority regulated under the *Environment Protection Act 2017* and one of seven groups across regional Victoria. The LMWRRG facilitates a coordinated approach to planning and delivery of infrastructure and services for the region, ensuring alignment to Victorian Government policy. It supports its eight member councils to minimise waste to landfill and increase the re-use and recycling of waste materials.

The eight Councils are as follows:

City of Greater Bendigo	Buloke Shire
Gannawarra Shire	Loddon Shire
Mount Alexander Shire	Macedon Ranges
Mildura Rural City	Swan Hill Rural City

Under new Victorian legislation (planned to be introduced in late 2021-early 2022), a new statewide waste authority will replace all of the regional groups in Victoria from July 2022. It will also change the waste and resource recovery responsibilities of Sustainability Victoria.

The *Loddon Mallee Waste and Resource Recovery Implementation Plan* identifies the waste and resource recovery infrastructure needs of the Loddon Mallee region



to 2026. The plan includes strategic directions related to educating the community to reduce waste generation, enabling beneficial use of organics, increasing re-use and recovery rates across the region and encouraging innovation and research to develop new waste management solutions.

The *Loddon Mallee Regional Organics Strategy 2019-2025* sets a zero organics to landfill vision through reducing food waste, maximising organics diversion from households and industry, and providing the necessary processing facilities and end markets throughout the region.

2.3 Commonwealth Government

The 2018 *National Waste Policy: Less Waste, More Resources* provides a framework for collective action by businesses, governments, communities and individuals. The policy identifies five overarching principles underpinning waste management in a circular economy. These include:

- avoid waste
- improve resource recovery
- increase the use of recycled material and build demand and markets for recycled products
- better manage material flows to benefit human health, the environment and the economy
- improve information to support innovation, guide investment and enable informed consumer decisions.

Targets and actions to implement these strategies are defined in the *National Waste Policy Action Plan 2019*, which includes national targets to:

- ban the export of waste plastic, paper, glass and tyres (phased in between 2021-2024)
- reduce total waste generated in Australia by 10% per person by 2030
- 80% average resource recovery rate from all waste streams by 2030
- significantly increase the use of recycled content by governments and industry
- phase out problematic and unnecessary plastics by 2025
- halve the amount of organic waste sent to landfill by 2030
- make comprehensive, economy-wide and timely data publicly available to support better consumer, investment and policy decisions.



The *Recycling and Waste Reduction Act 2020* legislated some of these strategies (including the waste export bans), as well as a revised national framework for product stewardship schemes.



3. Where are we now

This section reviews the current status of waste management in Macedon Ranges Shire.

3.1 Council leadership and community engagement

3.1.1 Towards Zero Single-Use Plastics Study and Action Plan

Throughout 2019-2020 an internal study was undertaken on using single-use plastics within Council operations to understand the quantity and types of single-use plastic items purchased, used and disposed of due to day-to-day operations. The study involved consultation with representatives across all Council departments in developing an action plan. While all departments across Council generate some single-use plastic waste, this investigation focused on identifying the avoidable, unnecessary and replaceable single-use plastic items used.

The study was to undertake an audit of single-use plastics. However, due to the risks involved with handling waste and disruptions to staff working arrangements during the COVID-19 pandemic, a weight-based audit of single-use plastic and a staff survey was postponed. Officers will undertake these tasks when it is appropriate and safe to do so.

3.1.2 Waste management at Council facilities

Four-bin sorting stations are ready to be installed at each of Council's administration centres and selected other facilities. The four-bin stations will enable staff and other users of Council facilities to separate waste into four waste and recovery streams. The roll-out of further sorting stations is a priority action following the easing of restrictions.

3.1.3 'Let's Get Sorted' kerbside education campaign

To support the change in waste and recycling services and the introduction of FOGO (food organics and garden organics collection), Council launched the *Let's get sorted* waste education campaign in January 2020. The goals of this campaign were to inform residents of the four bin system changes and educate around what should and should not go in each bin, while empowering the community to take action in sorting their waste.

Materials were developed following statewide best practice recommendations to support the campaign including the following:

- a new waste and recycling guide – *Let's get sorted*



- FOGO user guide for household and customised user guide for hospitality businesses
- corflute signs, pop-up banners and practical activities for face-to-face engagements
- website updates, social media campaigns and updates.

3.1.4 Waste education and behaviour change

In 2019, Council's first waste education officer commenced work in the resource recovery team. The new role is a vital step towards improving the level of community engagement and education on sustainable waste management practices and promoting better use of Council's waste services.

It will be important to build on the progress made over the past 18 months in developing and implementing the Let's Get Sorted campaign to support the new four-bin system. A supplementary Waste Minimisation and Resource Recovery Education and Engagement Plan will be developed to guide the implementation of the waste education actions set out in this strategy.

3.1.5 Face-to-face engagement activities

In the lead up to the four bin system and during the launch phase, the resource recovery team attended numerous community events and held pop-up information stalls across the larger townships. These events provided an opportunity to share information, gather feedback and engage face-to-face with the community.

Events have included an open day at the Council depot, attendance at fairs, festivals and agricultural shows, and a number of information sessions.



Local Farmers Market July 2021



3.1.6 Online engagement

Online education campaigns are an essential component of Council's efforts to facilitate responsible waste management practices, and have been particularly useful when face-to-face engagement opportunities are limited. A range of digital initiatives have been implemented to gather community feedback and provide education opportunities:

- ongoing service change updates through the MRSC website and social media platforms
- a business waste and recycling survey
- production of a FOGO video with the Mayor
- International Compost Awareness week campaign and competition
- updates to Council's website including waste reduction tips for households, business waste and recycling information and how to responsibly manage waste such as donating to op shops and managing waste through the pandemic
- introduction of a quarterly waste e-newsletter.

3.1.7 Wash Against Waste trailer

The Wash Against Waste trailer is a result of the *Wash Against Waste* initiative undertaken in collaboration with the Macedon Ranges Sustainability Group. The trailer is available to event organisers who wish to reduce waste at their events. A reduction in disposable packaging occurs, particularly single-use plastics, by providing reusable crockery and cutlery at events.

The trailer is available to event organisers subject to current pandemic restrictions.

3.2 Waste and recycling services

3.2.1 Kerbside collection

Council's kerbside collection service has undergone significant changes with the introduction of the four bin system as follows:

- a weekly food organics and garden organics (FOGO) service collected in a 240 L bin with a lime green lid
- a fortnightly recycling service collected in a 240 L bin with a yellow lid
- a four-weekly glass-only service collected in a 140 L bin with a purple lid



- a fortnightly general waste service collected in a 140 L bin with a red lid².

Council’s objective is to minimise the recoverable material going to landfills by providing a best value waste collection service to ratepayers.

3.2.2 Diversion from landfill

Figure 2 compares the monthly landfill diversion rates over the three previous financial years. Before the new four-bin service model, the 2019-20 diversion rate was slightly below the 2017-18 and 2018-19 figures. This increase in waste to landfill occurred due to significant quantities of kerbside comingled recyclables going to landfills following the closure of SKM in July 2019³.

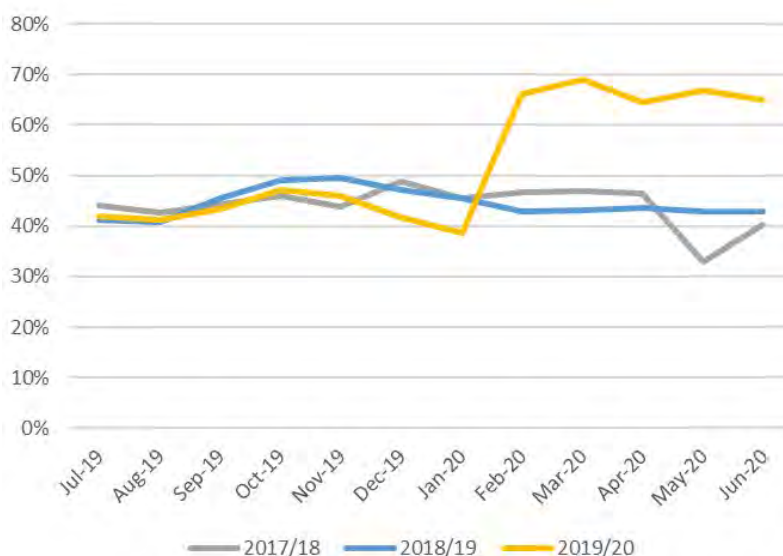


Figure 2 - Landfill diversion per year (2017-18 to 2019-20)

Since implementing the four-bin kerbside collection service, the Shire’s monthly landfill diversion rate increased from 39% in January 2020 to 65% (or greater) each successive month, peaking at 69% in March 2020. This result is significantly better than the average Victorian municipal diversion rate of 41% recorded for 2017-18⁴. Officers anticipate further improvements as the remaining areas of the Shire receive the four-bin service in July 2021.

² Note some older bins still have a dark green lid. These will be phased out through the bin replacement program.

³ The former SKM facilities were subsequently purchased by Cleanaway and reopened in late 2019.

⁴ Victoria Recycling Industry Annual Report 2017–18



3.2.3 Bin contamination

Bin contamination is an ongoing issue. Contamination is the quantity of materials as a percentage by weight that does not belong in a particular bin.

The most recent kerbside bin audit in December 2018 found that the contamination rate for the recycling bin was 16.9% by weight⁵. This rate was slightly above the state average of 14.8%.

Since implementing the four bin collection service, bin inspections and contractors reports note recycling contamination as high as 30%⁶ in some areas. This figure highlights the importance of a focused education campaign to improve people's recycling habits.

In recent years, there has been confusion regarding what items are and are not recyclable, particularly for the wide range of plastic items and composite packaging materials. Council's latest waste management guide, issued to residents at the start of 2020, provides clear and straightforward information on what items belong in each kerbside bin.

A bin inspection program and recycling campaign that commenced in 2020 has reduced the number of contaminated recycling bins. Council's new waste compliance officer has progressed the bin inspection program. Targeted community education activities are also undertaken to reduce the contamination of recyclables further.

Contamination of the FOGO bin has been consistently low at less than 1%, indicating that people are using the service as intended.

Council will provide ongoing education and behavioural change campaigns utilising clear and consistent information to reduce bin contamination.

3.2.4 Hard waste

Council does not operate a hard waste collection service. There is interest in this service, but factors such as distance between townships and safety concerns make this challenging. Officers will provide a report to Council on opportunities and issues in delivering this service.

Councils providing a hard waste collection report the following issues:

- increased dumping of waste on kerbsides outside of scheduled collections
- scavenging of valuable and resalable items before collection

⁵ MRSC Kerbside Waste Audit Report, Blue Environment 2019

⁶ Increase in contamination following removal of glass from the recycling can be attributed, in part, to the reduced weight of the bin (glass equates to 30% by weight). Contaminants therefore make up a greater proportion of the remaining bin contents as a % by weight.



- scattering of stacked waste materials, causing safety concerns for pedestrians and drivers
- high costs of collection (labour, fleet and disposal costs)
- ratepayers subsidising a costly service potentially used by only a small percentage of the community (after an initial high uptake for the initial collection, the service demand decreases)
- minimal reduction in cases of illegal dumping following implementation of a hard waste collection.

Introducing a hard waste service would increase the waste service charge (part of the Council rates notices) as waste is a user-pays service. There are some other options for consideration, such as an 'at-call' service (more suited to metropolitan regions) or private services.

The transfer stations provide a location for the community to take their hard rubbish for disposal under a more equitable user-pays basis.

3.2.5 Implementation of fortnightly general waste service and weekly FOGO service

Industry best practice and research into human behaviour have shown that restricting the capacity of the general waste bin coupled with a separate organics and recycling service reduces the amount of general waste produced by a community. Conversely, providing oversized bins or more regular collections for general waste disincentivises recycling efforts and results in higher per-household waste generation.

In February 2020, the Council rolled out its fortnightly garbage and weekly FOGO service to approximately three-quarters of its residents. The result has been a 32% decrease in per general household waste⁷. Further reductions will occur as the service rolls out to the remaining areas of the shire from 1 July 2021.

3.2.6 Organics processing

Material collected through Council's kerbside FOGO service is bulk-hauled to the Biomix composting facility in Stanhope (northern Victoria) where it is processed into compost. The Biomix facility is approximately 120 km from the Shire and requires a 4-hour round trip with each load.

Several loads of compost have been transported back to the Shire for use by Council's parks and gardens team with some success. Further investigation into both Council's ongoing need for compost and interest amongst the community to

⁷ Average monthly waste per household over 5 months post-FOGO service vs 5 months pre-FOGO service



purchase compost is needed before an ongoing back-hauling arrangement is established.

Given the increase in organic materials being collected through the FOGO collection service, Council commenced investigating alternative options for management and processing of organic material. A feasibility study was prepared in 2020 by the resource recovery unit to begin exploring a number of options. Urban EP consultants were engaged to conduct a review of the feasibility study to assess the adequacy of the characterisation of potential technologies and options for management and processing of its organic waste. They also provided guidance on the regulatory and planning considerations associated with siting of a facility.

The feasibility study identified several options to pursue regarding future management of organics that align with circular economy principles:

- commence recovery of compost material processed at Biomix for use within the Shire
- explore haulage options for composted FOGO material
- explore optimisation and improvement of current and future contractual arrangements for FOGO processing and end-product access under business-as-usual
- engage with and determine the appetite of neighbouring Council, regional, commercial and/or state and federal government stakeholders to partner in new local and/or regionally scaled organics processing solutions
- pursue development of a co-owned business case with key partners to determine commitment to collaboratively procure and/or co-investment in the most appropriate long term solution.

3.2.7 Glass recycling

Glass collected through the kerbside glass-only service is currently taken to a processor where it is crushed for use as an aggregate in construction projects such as road base, bedding material and concrete.

In conjunction with the roll-out of the glass collection service, a study into local glass processing opportunities was undertaken in early 2020. Blue Environment was engaged to undertake the study to identify and assess options for the future management of source-separated glass recovered by MRSC via glass-only kerbside collection and community drop-off facilities.

The report investigated both container-to-container recycling options and alternative uses in infrastructure construction and recommended the following actions to develop opportunities for local glass processing:



- seek expressions of interest from suppliers for the provision of equipment or contract services for the management of source-separated glass; existing operators at Tylden and Monegeetta should be invited to submit an expression of interest
- seek expressions of interest from glass manufacturers and beneficiation facilities for the receipt of source-separated glass
- use information received through the expressions of interest processes to identify the most cost-effective options for future glass management
- develop opportunities to seek external funding support for infrastructure for the transport and processing of glass within Macedon Ranges Shire
- consult the community and EPA about the appropriateness of proposed glass recovery options in any proposed location, and modify proposals where possible to accommodate concerns.

Due to the current limitations associated with glass container-to-container recycling, this will be sidelined until market conditions make this option viable. The more immediate option is to establish a glass crushing operation within the Shire and utilise the crushed material in local infrastructure construction such as roads and footpaths. Council has recently commenced a new contract for its quarry operations at Monegeetta including options for glass crushing at the quarry. Further work is required to establish a glass storage area at the quarry and ensure all legislative and permitting requirements are met prior to commencing this option.

3.3 Waste facilities

Council owns and operates three transfer stations located in Romsey, Kyneton and Woodend. The Kyneton transfer station operates a re-sale shop (or 'tip shop') selling recovered items to the public. There are also plans to establish a similar tip shop at the Romsey transfer station in the 2021-22 financial year, focusing on recovering waste building materials for re-sale.



Four stream event bins provided by Council



3.4 Public waste and recycling

3.4.1 Public place recycling

Public place recycling in our open spaces and township streets is currently not in practice in the Macedon Ranges, though Council do currently provide general waste, co-mingled recycling, glass and FOGO bins for public events.

In 2017, a trial was conducted to gather data on the feasibility of introducing public place recycling by providing co-mingled recycling bins at a number of the sporting grounds within the Macedon Ranges. This was met with a high level of contamination and resulted in all of the bin contents over the 6 month trial period being sent to landfill, after all loads were rejected by recycling processors.

As there are issues of contamination in public place recycling bins in the Macedon Ranges and other local government areas, consideration needs to be taken as to the location of the bins as well as the education campaigns that need to accompany the installation of the bins.

3.4.2 Litter and illegal dumping

The pre-strategy community survey results placed litter and illegal dumping as a key issue of concern. Litter and illegal dumping of waste remain ongoing issues for Council despite recent measures taken to identify frequent littering and dumping 'hotspots' and installation of a number of cameras.

Littering and dumping incidents are responded to by Council's resource recovery unit and, where sufficient evidence is obtained, prosecutions carried out by the local laws team.

Incidents of illegal dumping and littering are recorded and data is used to assess locations for camera installation. Information such as location, date, type of waste and quantity are recorded in Sustainability Victoria's statewide *DumpInData* database.

Council installed 12 cameras in 2018, funded through a grant from Sustainability Victoria, as well as signage to deter illegal dumping and monitor known hotspots. Due to the time required to monitor camera footage a dedicated waste compliance officer position was created in the 2020-21 budget to be responsible for monitoring cameras and supplying evidence for prosecuting offenders.

Council also provides assistance to charity stores and op-shops by supplying anti-dumping signage warning of the consequences of dumping items not suitable for re-sale.



3.5 Performance

Council's 2015-2020 waste management strategy developed goals for ongoing measurement of progress in delivering the vision and principles of the strategy.

The table below summarises current performance against these goals.

Table 1 – Goals

Goals	Baseline position (2015)	Current Position (2020)
1. Decrease the quantity of waste going to landfills per household. (Sustainability)	2015 baseline – 505 kg of waste to landfills from households	Current 2020 position - 429 kg, a decrease of over 15%.
2. A decrease in the contamination rate in bins. (Sustainability)	Baseline 2015 – Unknown 2018 baseline – 16.9% contamination by weight	Unknown – Audit will be conducted late 2021
3. Council has reliable data on quantities, emissions, costs and benefits of waste and recycling systems (Resilience, Transparency)	Incomplete and unreliable data due to manual information systems	Mandatory monthly and annual reporting requirements using data from all material streams
4. Council is a leader in the community concerning waste reduction and recycling (Sustainability)	There was industry uncertainty regarding the recycling industry reliability and a lack of trust that recycling was going to recycling facilities	Council showing leadership having implemented its four-bin service ahead of the state government's kerbside reform initiative. Council's annual environmental report contains performance metrics on waste and recycling.
5. Community events adopt best-practice waste reduction and resource management (Education, Sustainability)	A baseline figure on waste generation at key events was to be determined in 2015 (currently unknown)	Council provides bins for the four waste streams (FOGO, recycling, glass and general waste) for public events.
6. Local communities and businesses have identified and implemented improved material efficiency and resource exchange opportunities. (Education, Sustainability)	The baseline is unmapped and unmeasured.	Several feasibility studies were undertaken on opportunities for increased resource recovery in local industry sectors. Further work required to assess and develop preferred options.





Four stream event bins provided by Council



4. Issues and opportunities

The issues and challenges facing waste management and resource recovery in Macedon Ranges Shire are discussed below, as well as the potential opportunities to address them.

4.1 Waste management hierarchy

The waste management hierarchy (shown in Figure 3) continues to form a fundamental element guiding the Council's future approach to waste management. The hierarchy is articulated in environmental legislation and establishes an order of preference for waste management practices.

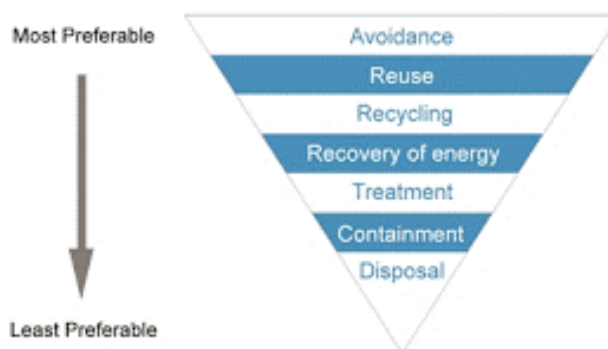


Figure 3 – Waste management hierarchy (Source: EPA Victoria)

Waste avoidance is a key focus of the strategy. Reducing the amount of waste produced is the most effective means of reducing both the cost and environmental impact of collection, treatment, processing and/or disposal of waste. The waste management hierarchy reflects this by placing waste avoidance above all other management options. Therefore, this strategy seeks to provide the community with the necessary information and resources to avoid waste generation through education and by demonstrating leadership in using resources more efficiently and reducing the environmental impacts of waste.

Council officers engaged with the community and internal stakeholders and identified a range of issues and opportunities. These are discussed in the following sections.



4.2 Waste avoidance and behaviour change

4.2.1 Council leadership

Council could further its community leadership role by integrating sustainable procurement within Council's procurement policy. This would include preferential purchase of products with recycled content. Sustainable procurement takes into account the full life cycle of goods and services. This ensures that purchasing decisions are based on a wider range of factors in addition to the upfront costs such as environmental and social risks and benefits, and broader social and environmental implications. Councils Procurement Policy currently includes environmental and social factors but it is at the discretion of officers as to how heavily these factors are weighted in tendering processes. By incorporating sustainability-related targets into Council's purchasing processes council can help to drive the circular economy.

Council could provide best practice infrastructure in all Council offices and facilities to support the four-bin system. This would include exploring waste stream solutions, for example, introducing TerraCycle boxes for used stationery.

Council currently sells some single-use plastic products across its facilities, for example, water bottles and coffee cups. By switching to sustainable alternatives, Council could remove these problematic items and lead by example.

Staff waste disposal behaviour is a significant area of single-use plastic generation across Council. Targeted behaviour change campaigns such as Plastic Free July and Plastic Oceans Australasia's EPIC business program could reduce waste and encourage better habits in the workplace and home.

4.2.2 Community and business engagement

Council could promote practices that avoid waste generation by running information sessions on minimising food waste, worm farms and FOGO, re-using items, shopping at the tip shop or op shops, etc.

Council could develop a targeted business campaign (for example *Waste Wise Business* or *Proudly Plastic Free*) that assists businesses to reduce plastic and adopt more environmentally friendly practices. This could promote and celebrate community and Council achievements.

There is an opportunity to continue the existing education campaign on kerbside reform. This would involve ongoing delivery of the *Let's get sorted* education campaign to support the shire-wide roll out of the four bin system to support increased resource recovery, reduced waste to landfill and reduced contamination levels.



Council could re-establish face-to-face education opportunities at community events and public places when appropriate to do so in line with COVID-19 restrictions. This would include increased engagement with businesses, schools and early learning centres.

Council could continue development of website resources and activities, whilst exploring and introducing new digital engagement opportunities such as webinars, online workshops and videos.

There is also an opportunity to implement community and staff waste reduction behaviour change initiatives such as Plastic Free July and recognised national campaigns such as Clean Up Australia Day, International Compost Week and National Recycling Week that address littering and waste minimisation.

4.2.3 Reducing single-use plastic at events

Council could provide the four-bin collection service to events run in the Shire to promote better sorting and recycling while increasing waste diversion. This would enable compostable packaging to be provided by vendors. The Wash Against Waste trailer will also assist with reducing reliance on single-use plastic at events. The provision of Council's event bins and recycling stations at events run across the Shire will assist in better waste sorting and increase recycling and waste diversion, including single-use plastics for example water and soft drink bottles. Through best practice recommendations and working with event organisers, single use plastics can be reduced and eliminated by initiatives such as single-use plastic free policies and the requirement of using certified compostable items such as cutlery and take away food packaging. Hiring of the Wash Against Waste Trailer will also assist in events reliance on single-use plastics.



4.3 Resource recovery

4.3.1 Transfer stations

Only one attendant operates each of the Council's transfer stations. Weekends are the busiest time of the week; the attendant operates the site alone despite the higher throughput of people and waste and recyclables.

The number of customers at the transfer stations has increased significantly (20% increase in 2019-20 in just one year); this may reflect the COVID-19 pandemic.

The attendants are unable to monitor customer movements due to the high number of customers and increased traffic. Additional weekend resourcing at each transfer station would enable attendants to provide a better customer experience and advice to ensure that materials are separated and that people move around the transfer station safely.

Officers need to undertake a staffing level review to match the customer demand for a more efficient and effective service, to ensure that waste and recycled materials are adequately separated and that people behave safely.

Due to high customer levels at the smallest site (Woodend transfer station, with users at levels more than double that of the other two sites), consideration needs to be given to the introduction of an additional or replacement transfer station.

4.3.2 Garden waste

Residential customers can drop-off domestic quantities of garden waste for free at the transfer stations. This service encourages good fire prevention and provides an alternative to burning of garden waste. This arrangement results in the receipt of large quantities of garden waste with a high mulching cost. There is no revenue stream to cover the processing costs.

There is an opportunity to review pricing options to ensure cost recovery, whilst still providing a cost-effective solution for residents to manage their garden waste. A more balanced arrangement may be to offer a free drop-off service immediately before the declaration of the fire season through to the end of the fire season (late spring to end of summer) and charge a fee for the remainder of the year. This may generate a small income to offset rising costs. The alternate is to increase the waste and resource charge to cover the increasing costs and keep the gate prices zero.



4.3.3 Closing the loop on organics

The efficiencies gained through back-loading the FOGO trucks make the buy-back option a cost-effective method of sourcing compost at a reduced cost for use in parks and gardens, road maintenance and landfill rehabilitation works. Community consultation would also be necessary to assess the level of interest in purchasing compost and to determine a price point for re-sale.



Display items at Council for public events

4.3.4 Soft plastics

Some supermarket chains currently accept soft plastics via the RedCycle program. RedCycle collects post-consumer soft plastic, and provides it to processors who recycle it into products such as park benches, wheel stops and bollards, as well as high-grade asphalt additive for road construction.

RedCycle provides a convenient drop-off location for most residential customers however it does not cater for larger quantities of soft plastic generated through farming (e.g. bale wrap) or other businesses. Council receives regular enquiries from small business operators and farmers asking where they might take large quantities of plastic film. Officers will explore further options for recovery of soft plastics from these sources.



4.4 Other

4.4.1 Public place recycling

The availability of public space recycling stations allows residents and visitors to the area an option to recycle rather than place all waste in the landfill bin. For this to occur, officers will need to consider education campaigns, locations of the bins and signage to ensure minimum contamination occurs.

4.4.2 Litter and illegal dumping

Through better use of data obtained through cameras and online database Council will be in a position to proactively manage littering and illegal dumping within the Shire. Engaging with the community on the issue of illegal dumping will create a sense of collaboration on this issue.

4.4.3 Data collection

Council will continue to collect waste audit and other data that can accurately help us to show upward and downward trends in behaviour change. This will allow achievements against Council goals to be measured and reviewed.



Waste audit conducted by Council Offices



5. Recommendations

The following recommendations are a result of the review of the issues and opportunities.

5.1 Council leadership and waste education

1. Develop a sustainable procurement policy or alternatively incorporate sustainable procurement principles into Council's existing procurement policy
2. Introduce sorting stations at Council offices for general waste, recycling, glass, FOGO and soft plastics
3. Deliver a staff education and behaviour change campaign to reduce waste and increase resource recovery at council workplaces and facilities
4. Engage with business, schools and community groups to understand their waste and resource recovery requirements and deliver tailored education programs. Information will inform a commercial collection service review.
5. Support and promote programs and campaigns that facilitate the re-use, re-purpose, and repair of homewares like furniture, appliances and textiles.
6. Develop the Waste Minimisation and Resource Recovery Education and Engagement Plan
7. Facilitate and support programs and services to avoid the generation of organic waste, for example, support statewide campaigns through Sustainability Victoria, promote the benefits of home composting and mulching, and encourage local initiatives like Food Swaps.
8. Develop and implement a Shire-wide education and behaviour change campaign focusing on:
 - waste minimisation and reduction
 - problem wastes (e.g. nappies, soft plastics, composite packaging)
 - reducing contamination
9. Develop a communications and education campaign targeting single use plastic usage by the community and business
10. Implement Towards Zero Single-Use Plastics Action Plan
11. Implement Towards Zero single-use plastics education campaign



5.2 Waste and recycling services

1. Roll out weekly FOGO and fortnightly general waste service to remaining areas of the Shire by July 2021.
2. Provide Council with a briefing paper on hard waste collection and tip vouchers.
3. Establish an arrangement for recovery of compost material from Biomix by buying back the material for use within the Shire. Consult community on demand for compost. Review internal usage requirements.
4. Explore options for local and/or regional partnerships for scaled organics processing solutions. Develop a business case for recommended option.
5. Establish a closed-loop glass collection, processing and re-use option within the Shire.
6. Introduce public place recycling, complementing the Victorian Government container deposit scheme.

5.3 Waste facilities

1. Review the transfer station staffing levels to meet increasing customer demand
2. Review the potential for an additional transfer station in the south of the Shire
3. Explore market options for the collection and processing of soft plastics from transfer stations and play a role in facilitating the recovery of a wide range of agricultural plastics, to reduce disposal at landfill. Trial collection and collect data on quantity and quality of material to determine ongoing viability.

5.4 Litter and illegal dumping

1. Develop a Littering and Illegal Dumping Management Plan to proactively address the issues of littering and illegal dumping
2. Utilise data obtained on dumping incidents to better plan for and proactively manage dumping
3. Undertake a community anti-littering campaign targeting problem areas and encouraging the community to report littering
4. Review numbers and locations of public place bins to assess need for additional bins in problem areas
5. Continue to support op-shops in managing dumping of non-resalable waste items at charity bins and stores.



5.5 Measurement and review

1. Evaluate and review data to ensure positive behaviour change in the community and within Council operations.
2. Audit the use of single-use plastics across council operations and events to establish a baseline.
3. Use bin audit data to target areas for educational campaigns to reduce contamination, increase landfill diversion and reduce disposal costs
4. Review garden waste pricing structure and consider adding a fee in the waste service charge to reduce ongoing costs. Trial preferred pricing structure, monitor and collect data for further review and evaluation.



Council's Waste Compliance Officer daily bin audits

5.6 2021-2026 Goals

Ongoing goals for achievement during the term of the Waste and Resource Recovery Strategy 2021-2026 are outlined in the following table.

Goals	Updated Goal 2021-2026
1. Decrease the quantity of waste going to landfills per household (Sustainability)	<p>Increase Landfill Diversion rates from 54% in FY 2019/20 per household per year to 80% by 2030 and an interim target of 65% by 2025</p> <p>Advocate for local solutions to items currently not being recycled in Australia to increase items diverted from landfill (such as milk and juice cartons).</p>
2. A decrease in the contamination rate in bins (Sustainability)	A decrease in the contamination rate in bins for recycling and glass. Maintain a contamination rate below 1% in the FOGO bin.
3. Council has reliable data on quantities, emissions, costs and benefits of waste and recycling systems (Resilience, Transparency)	<p>Utilise data and provide publically available data for community use by March 2022.</p> <p>Council uses data to guide future service planning, contracts and operational improvements.</p>
4. Council is a leader in the community concerning waste reduction and recycling (Sustainability)	<p>Supported by ongoing education campaigns and service improvements of the four bin system, Council will continue to show leadership in the community with regards to waste, recycling and the circular economy, through increased landfill diversion, increased participation in FOGO usage, reduced contamination across all recycling streams.</p> <p>The key measurable outcomes:</p> <ul style="list-style-type: none"> - sales at Kyneton Tip Shop, thus diverting materials from landfill and repurposed - participation in waste education events and engagement activities - tonnages disposed of at transfer stations and volumes diverted from landfill - overall downward trend in tonnages to landfill, higher tonnages of materials diverted into FOGO, glass and recycling streams. Recycling tonnages have declined due to the introduction of the glass bin.



Goals	Updated Goal 2021-2026
5. Community events adopt best-practice waste reduction and resource management (Education, Sustainability)	Support events in responsible waste management at events through best practice recommendations alongside Council event bins and recycling stations. Collect data on waste collected at public events to create a baseline to increase diversion in future.
6. Local communities and businesses have identified and implemented improved material efficiency and resource exchange opportunities (Education, Sustainability)	Further investigation to take place to inform the introduction of a dedicated commercial service to better support local businesses with tailored, responsible waste management services.



6. Action Plan 2021-2026

Recommendation	Timeframe	Indicative cost	Responsibility	Relevant goals
Council leadership and waste education				
1. Develop a sustainable procurement policy or alternatively incorporate sustainable procurement principles into Council's existing procurement policy	2021	In-house External consultant fees \$10,000-\$15,000	Resource Recovery Unit Governance Team	1, 3, 4, 6
2. Introduce sorting stations at Council offices for general waste, recycling, glass, FOGO and soft plastics	2021	In-house	Resource Recovery Unit	1,2,3
3. Deliver a staff education and behaviour change campaign to reduce waste and increase resource recovery at council workplaces and facilities	Commenced in 2020 – To occur annually	In-house	Waste Education Officer	1, 4
4. Engage with business, schools and community groups to understand their waste and resource recovery requirements and deliver tailored education programs. Information will inform a commercial collection service review.	Annually	In-house	Resource Recovery Unit Waste Education Officer	1, 4, 6



Recommendation	Timeframe	Indicative cost	Responsibility	Relevant goals
5. Support and promote programs and campaigns that facilitate the re-use, re-purpose, and repair of homewares like furniture, appliances and textiles.	Annually	In-House	Resource Recovery Unit Waste Education Officer	1,2,4,6
6. Develop the Waste Minimisation and Resource Recovery Education and Engagement Plan	2022	In-House	Resource Recovery Unit Waste Education Officer	1,2,4,6
7. Facilitate and support programs and services to avoid the generation of organic waste, for example, support statewide campaigns through Sustainability Victoria, promote the benefits of home composting and mulching, and encourage local initiatives like Food Swaps.	Annually	In-House	Resource Recovery Unit Waste Education Officer	1,4
8. Develop and implement a Shire-wide education and behaviour change campaign focusing on: - waste minimisation and reduction - problem wastes (e.g. nappies, soft plastics, composite packaging) - reducing contamination	Annually	In-house \$20,000 currently in annual budget for printed education materials and graphic design	Resource Recovery Unit Waste Education Officer	1, 2, 4
9. Develop communications and education campaign targeting single use plastic usage by the community and business	2021	In-house	Resource Recovery Unit Waste Education Officer	1, 4
10. Implement Towards Zero Single-Use Plastics Action Plan	Ongoing	Several actions with varying costs	Resource Recovery Unit Various departments	1, 3, 5



Recommendation	Timeframe	Indicative cost	Responsibility	Relevant goals
11. Implement Towards Zero single-use plastics education campaign	2021 - 2026	In-house (\$10,000-\$15,000 for collateral)	Waste Education Officer	1, 4, 5
Waste and recycling services				
1. Roll-out weekly FOGO and fortnightly general waste service to remaining areas of the shire	Q1 FY21/22	Within existing budget for FY2020-21	Resource Recovery Unit	1, 4
2. Provide Council with a briefing paper on hard waste collection and tip vouchers	October 2021	In-house with consultant to complete external report	Resource Recovery Unit	1,2,3
3. Establish an arrangement for recovery of compost material from Biomix by buying back the material for use within the Shire. Consult community on demand for compost. Review internal usage requirements.	2021	In-house Haulage cost dependent on quantity – to be determined through demand analysis	Resource Recovery Unit	1, 4
4. Explore options for local and/or regional partnerships for scaled organics processing solutions. Develop business case for recommended option.	FY 2022-23	\$50,000-\$80,000	Resource Recovery Unit	1, 4, 6
5. Establish a closed-loop glass collection, processing and re-use option within the shire	FY 2022-23	In-house \$20,000-\$30,000 consultant fees	Engineering and Resource Recovery Department	1, 4



Recommendation	Timeframe	Indicative cost	Responsibility	Relevant goals
6. Introduce public place recycling, complementing the Victorian Government container deposit scheme.	Commencing FY 2021/22 Annually	In-house (existing Capital budget)	Resource Recovery Unit	2,3,4
Waste facilities				
1. Review transfer station staffing levels to meet increasing customer demand.	FY 2021/22 Annually	In-house Additional staff costs to be determined	Resource Recovery Unit PCP team	1
2. Review the potential for an additional transfer station in the south of the shire	FY 2022/23	In-house Additional funds will be required for long term solution	Resource Recovery Unit	1,4
3. Explore market options for collection and processing of soft plastics from transfer stations and play a role in facilitating the recovery of a wide range of agricultural plastics, to reduce disposal at landfill.	FY 2021/22	\$5,000-\$10,000	Resource Recovery Unit	1, 6
4. Trial collection of soft plastics at Council transfer stations and collect data on quantity and quality of material to determine ongoing viability.	FY 2021/22	\$5,000-\$10,000 per annum	External contractor	2021-2022
5. Open a Resale Shop at the Romsey Transfer Station	FY 2022-23	In-house, \$40,000 (in operating budget)	Resource Recovery Unit	1,2,3



Recommendation	Timeframe	Indicative cost	Responsibility	Relevant goals
Litter and illegal dumping				
1. Develop a Litter and Illegal Dumping Management Plan to proactively address the issues of littering and illegal dumping	FY 2021/22	In-house	Resource Recovery Unit	1, 4
2. Utilise data obtained on dumping incidents to better plan for and proactively manage dumping	Annually	In-house	Resource Recovery Unit	1, 3, 4
3. Undertake a community anti-littering campaign targeting problem areas and encouraging the community to report littering	FY 2022/23	In-house \$25,000-\$30,000 communications budget	Resource Recovery Unit Communications Team	1, 4
4. Review numbers and locations of public place bins to assess need for additional bins in problem areas	Annually	In-house	Resource Recovery Unit	1
5. Continue to support op-shops in managing dumping of non-resalable waste items at charity bins and stores	Annually	In-house Increase in disposal costs may require additional budget – to be reviewed.	Resource Recovery Unit Economic Development	1, 4, 6



Recommendation	Timeframe	Indicative cost	Responsibility	Relevant goals
Measurement and review				
1. Evaluate and review data to ensure positive behaviour change in the community and within Council operations.	Annually	In-house	Waste Education and Waste Compliance Officers	1,2,3,6
2. Audit of single-use plastics across council operations and events within the Shire to establish a baseline	2021	\$20,000-\$30,000	Resource Recovery Unit	1, 5
3. Use bin audit data to target areas for education campaigns to reduce contamination, increase landfill diversion and reduce disposal costs	Annually	In-house (see Waste Education for campaign budget)	Resource Recovery Unit	3
4. Review garden waste pricing structure to reduce ongoing costs. Trial preferred pricing structure, monitor and collect data for further review and evaluation.	FY 2021/22 Review FY 2022/23 Trial	In-house Potential for cost saving	Resource Recovery Unit Finance team	3





Kerby, our bin mascot

