

# Preliminary Development Servicing Report

## 18 Lot Subdivision 88A-90 Wedge Street, Kyneton

Prepared on behalf of Jasper Family Trust

February 2023

Ref: 13263

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**Document History and Status**

Rev.	Status	Date	Project Manager	Project Reviewer	Authorised
A	Draft	Jan-22	Jack Maher	Alex Reid	
B	Revised lot layout	May-22	Brody Brown	Matthew Elliot	
C	Revised catchment	February-23	Brody Brown	Matthew Elliot	Alex Reid

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**APPENDIX C SITE GAS SUPPLY**

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**APPENDIX E SITE TELSTRA CABLE PLAN**

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## 1 Introduction

The Jasper Family Trust has engaged Tomkinson on their behalf, to conduct a servicing report for the proposed Development Plan application for a Multi Lot Subdivision at 88A-90 Wedge Street, Kyneton. The Development Plan will also include 88 Wedge Street site, but is not part of the sponsors ownership or the future subdivision application. The subject site is located between Wedge Street, Powlett Street, and a current unmade Government Road. The site is approximately 2.50 hectares in area.

A desktop study and site inspection have been undertaken to determine the services located in and near the site as provided by the 'Dial before you dig' service and observed from aerial photos. The plans received are included in the Appendices. The availability of these services will be discussed to determine the development's ability to provide the necessary physical and social infrastructures such as roads, footpaths, and drainage assets to the future residents of the development.

## 2 Site and Surrounds

The Subject Site is located on the southern side of the Calder Freeway and to the west of Mollison Street as shown in Figure 1 below. The subject site comprises of several parcels approximately 2.50 hectares in area and is proposed to be subdivided into 18 lots with a reserve area for stormwater detention and treatment. A services Functional Layout Plan has been prepared to demonstrate the proposed locations of services and infrastructure within the development and surrounds and is located in Appendix A.

The site is typically grassed and contains various tree and vegetation clusters. The topography of the subject site generally falls from north to south towards Post Office Creek.



Figure 1: Locality Plan

### 3 Road & Pedestrian Access

The developer will be responsible for the construction of new roads within the development. These roads are to conform to the Infrastructure Design Manual for the Macedon Ranges Shire Council.

The site will have immediate road access from Wedge Street which is currently a rural profile road consisting of a typical 4.7m seal, 0.5m shoulder and table drains (See Figure 2). Similar to IDM standards, this rural profile has been determined to be a suitable road profile for access to the development and maintain the local rural nature and amenity. Any lots fronting Wedge Street to have sealed driveways for access. A footpath will also be constructed fronting all these lots to provide physical and social pedestrian access to the development. It is also recommended to widen the road to 6m where it fronts the development (as shown in Appendix A).



Figure 2: Wedge Street Google Street View looking North from Post Office Creek

Both the existing unmade government roads (See Figure 3) and Powlett Street Road reserves will be upgraded to provide access from Wedge Street into the subdivision. This upgrade will include a modified rural profile adopting similar style to existing local road reserves with an addition of a footpath on one side with table drains and underground drainage as required.



Figure 3: Government Road Reserve Google Street View looking East from Wedge Street

The internal subdivision's court bowl will match the standard IDM urban profile with a sealed road with kerb and channel and underground drainage. Due to the services being located on the western side of Powlett Street, additional widening to the east would not be required. The court bowl and road reserve would instead widen to the west as needed.

Refer to Appendix A for a typical section of each proposed road.

To aid in physical and social infrastructure needs it is proposed for the development to provide driveways fronting each lot and footpaths from Wedge Street through the Government Road reserve and connecting to Powlett Street.

The closest footpath is currently located 550m to the southeast towards the Kyneton CBD. Therefore, it is deemed it would be too onerous on the development to fund footpath linkage to other footpath networks beyond the site frontages. These linking footpaths would have a greater shared benefit to the wide community and consequently, it is envisioned that footpath schemes over time will create this linked network.

## 4 Drainage & Flooding

The site currently has no internal underground drainage present other than a piped system in Wedge Street that discharges to the creek. Flows are currently conveying overland to the south and discharging into Post Office Creek. Wedge Street comprises existing table drains with an underground network and culvert crossings to all property accesses. An existing table drain in the Government Road reserve conveys flows from the Powlett Street Road reserve to the Wedge Street system.

A preliminary flood investigation into Post Office Creek with NCCMA's 'Floodeye' portal shows the site is partially subject to inundation/flooding from Post Office Creek during a 1% AEP event. (See Figure 4 below). This inundation/flooding area is proposed to be made into a council reserve. All lots are proposed to be clear of the 1% AEP flooding footprint. Lots and infrastructure will average a 30m setback from the creek primary top of bank.

The proposed infrastructure functional plans in Appendix A show the proposed drainage system for the development. Refer to the SWMP report in this application for further detail regarding Drainage and flood measures proposed.

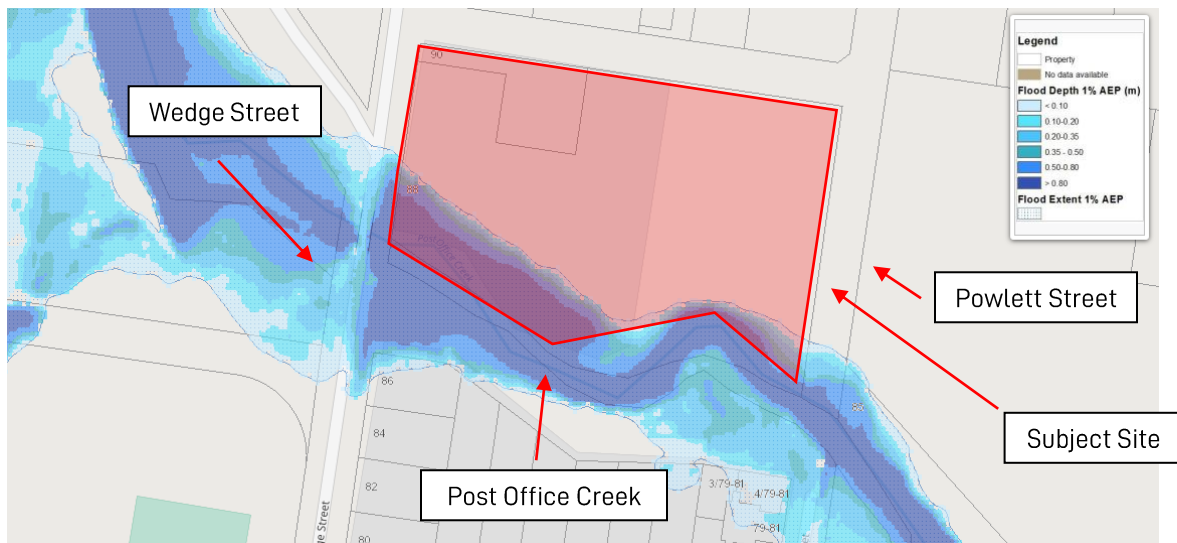


Figure 4: NCCMA 'Floodeye' Map



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## 5 Water Reticulation

### 5.1 Potable Drinking Water Reticulation

There are currently two Coliban Water reticulation mains that reside on the eastern side of Wedge Street. The first is a 100mm diameter AC (Asbestos Cement) main which extends through Wedge Street. The second is a 125mm diameter PE100 (Polyethylene) main which offtakes from the 100mm AC main near the northern boundary of 88 Wedge Street and extends south to the middle of 88 Wedge Street. (See Appendix B). These mains have been determined to be suitable to service the proposed site. It is proposed to extend these watermains in accordance with Coliban water requirements within the new proposed road alignments to supply potable water to each lot.

### 5.2 Non-Potable Recycled Water Reticulation

There is currently no Recycled Non-Potable Water Reticulation located near the subject site nor the need to provide the service.

## 6 Sewer

225mm VC (Vitreous Clay) sewer currently runs down the eastern side of Wedge Street to approximately the intersection with Brocklebank Drive. It then crosses Wedge Street and runs on the western side until it intersects with the 300mm VC main.

There is also currently a 150mm dia Unplasticised Polyvinyl Chloride (UPVC) sewer that runs through a neighbouring site from the 225mm VC sewer and terminates within the subject site. (See Appendix B). These two mains have been deemed suitable to service the site and control the site with reticulated gravity sewer.

It is proposed to extend the sewer reticulation in accordance with Coliban water requirements to provide reticulated sewer to each proposed lot.

## 7 Gas

There is a 50mm Plastic Polyethylene (PE) gas service that extends down the east of Wedge Street. This service stops approximately 5m south of the northern boundary of 88 Wedge Street.

Ausnet has also proposed for a 63mm PE808 Metric to be installed in the government road reserve at the north of the site. The service is proposed to align to the eastern boundary of 90 Wedge Street. (See Appendix C). These gas services have been deemed appropriate to be extended and service the site.

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## 8 Power

High Voltage Overhead power lines currently run on the western side of Wedge Street with a substation located on the power pole adjacent to 90 Wedge Street. Underground Low Voltage power then connects into this substation and runs to the front of Lot 90. Subject to Powercor approval and reasonable costs to complete, it is proposed to relocate the overhead power to an underground system, subject to Powercor advice.

Powlett Street also contains a High Voltage overhead powerline which sits on the western side until the northern boundary of the subject site. The powerline then crosses to the eastern side and continues south towards Post Office Creek (See Appendix D). This power infrastructure is appropriate to service the site with underground power reticulation through the Road reserve to service each proposed lot.

## 9 Telecommunications

Existing Telstra services are currently running along the centre of Wedge Street adjacent to the subdivision and connect into the north-western corner of the subject site. They then align closer to the eastern side of Wedge Street and continue to run north as shown per Telstra's 'Dial Before You Dig' (DBYD) plan (Appendix E).

Powlett Street Road reserve also hosts existing Telstra cables that lay on the western side of the reserve. These are indicated as main cable ducts on Telstra's DBYD plan. (See Appendix E)

NBN is nominated as the Infrastructure Provider of Last Resort for the development. It is proposed to install NBN Pit and Pipe for NBN fibre installation to each proposed lot.

## 10 Conclusion

A preliminary services investigation has been undertaken which has identified that all services can be provided to the proposed residential development on the subject site. These services have been deemed to be the necessary physical and social infrastructure provided to the residents of the development. This preliminary investigation has been undertaken exclusively for the Jasper Family Trust and consists of 10 pages together with its associated appendices.

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**APPENDIX A PROPOSED SITE SERVICING PLAN**



### LEGEND

	PROPOSED KERB & CHANNEL
	EXISTING KERB & CHANNEL
	PROPOSED DRAIN / PIT / I.S.
	EXISTING DRAIN / PIT
	PROPOSED HOUSE DRAIN / EASEMENT CONNECTION
	INVERT (DESIGN / EXISTING)
	EDGE OF SEAL / EDGE OF BITUMEN (DESIGN / EXISTING)
	TOP OF BANK (DESIGN / EXISTING)
	BOTTOM OF BANK
	PROPOSED TITLE BOUNDARY & SITE TITLE BOUNDARY
	PROPOSED OR EXISTING EASEMENT
	PROPOSED ELEC / TELSTRA CONDUIT & PIT
	PROPOSED GAS & WATER CONDUIT
	PROPOSED SEWER AND MANHOLE
	EXISTING SEWER & MANHOLE
	PROPOSED WATER MAIN
	EXISTING WATER MAIN, FIRE PLUG AND VALVE
	PROPOSED ELECTRICITY MAIN
	EXISTING ELECTRICITY MAIN & PIT
	EXIST OVERHEAD ELECTRICITY
	PROPOSED GAS MAIN
	EXISTING GAS MAIN
	PROPOSED TELECO MAIN
	EXISTING TELECO CABLE
	PROPOSED CATCH DRAIN
	PROPOSED AG DRAIN
	EXISTING DWELLING
	STORMWATER SEDIMENT POND
	LANDSCAPED BASIN (MAXIMUM LEVEL OF STORAGE)
	STORMWATER EXTENDED DETENTION LEVEL
	STORMWATER RAINGARDEN
	ROAD SEAL
	KERB
	FOOTPATH
	VEHICLE CROSSOVER
	RESERVE/NATURE STRIP
	LOTS
	DRAINAGE RESERVE BOUNDARY LINE
	88 WEDGE STREET PROPERTY

**GENERAL DESIGN DETAIL PLAN NOTES**  
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE

- KERB TYPES:
  - FRONTING LOTS = MODIFIED SM2 (IDM SD 100 - SM2-M)
  - FRONTING RESERVES = 450mm B2 AS PER IDM SD 100
- ALL KERB RETURNS ARE 8.0m RADIUS TO BoK
- ALL DRIVEWAYS AS PER IDM SD 240 & 245
- ALL FOOTPATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
- ALL SHARED PATHS CONCRETE & 2.5m WIDE @ 0.10m O/S BL AS PER IDM SD 205
- ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE BOUNDARIES
- LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
- ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
- CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 / 1:250(A3) WHERE SHOWN

**WARNING**  
 BEWARE OF UNDERGROUND SERVICES  
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

D	REVISED CATCHMENTS AND ADDED DRAINAGE RESERVE	BB	ME	10/02/23	
C	WEDGE STREET WIDENED ON THE DEVELOPMENT SIDE	BB	ME	08/06/22	
B	AMENDMENTS TO LOT 2,10,18 DRIVEWAYS AND REDUCED NUMBER OF LOTS BY ONE	BB	ME	11/05/22	
A	AS SUBMITTED TO CLIENT	BB	ME	20/1/22	
REV	REVISION	DES	DWG	CHK	DATE



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**88A - 90 WEDGE STREET**  
**KYNETON**  
 PROPOSED INFRASTRUCTURE FUNCTIONAL LAYOUT  
 MACEDON RANGES SHIRE  
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|--|---|
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- 
- |  |   |
|--|---|
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|  | ROAD SEAL                                   |
|  | KERB  |
|  | FOOTPATH                                    |
|  | VEHICLE CROSSOVER                           |
|  | RESERVE/NATURE STRIP                        |
|  | LOTS  |
|  | DRAINAGE RESERVE                            |
|  | 88 WEDGE STREET PROPERTY                    |

REMOVE EXISTING DRIVEWAY

PIT CONSTRUCTED OVER EXISTING PIPE

EXISTING SEALED ROAD RURAL PROFILE

WEDGE STREET

GOVERNMENT ROAD RESERVE

ROAD ONE

2

3

4

5

6

1

PIT CONSTRUCTED OVER EXISTING PIPE

WEDGE STREET TO BE WIDENED FROM FRONTAGE TO BRIDGE ON DEVELOPMENT SIDE

1% AEP FLOOD LEVEL

7

8

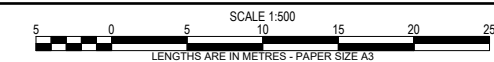
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DES	BB	CHK	ME	DATE



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**88A - 90 WEDGE STREET**  
**KYNETON**  
PROPOSED INFRASTRUCTURE FUNCTIONAL LAYOUT  
MACEDON RANGES SHIRE  
ADTS P/L

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### LEGEND

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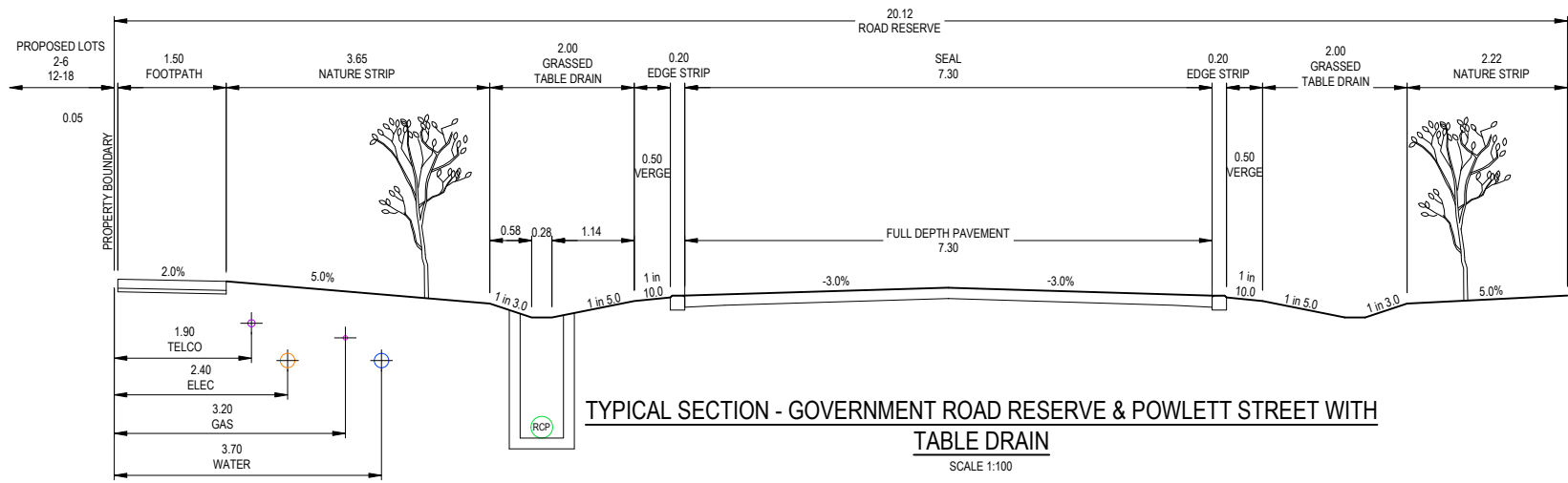
**88A - 90 WEDGE STREET**  
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**PROPOSED INFRASTRUCTURE FUNCTIONAL LAYOUT**  
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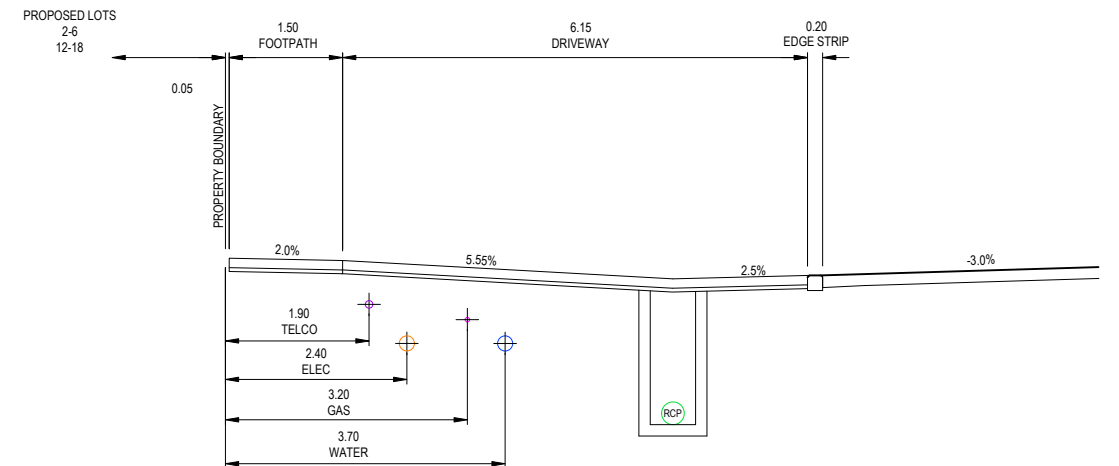
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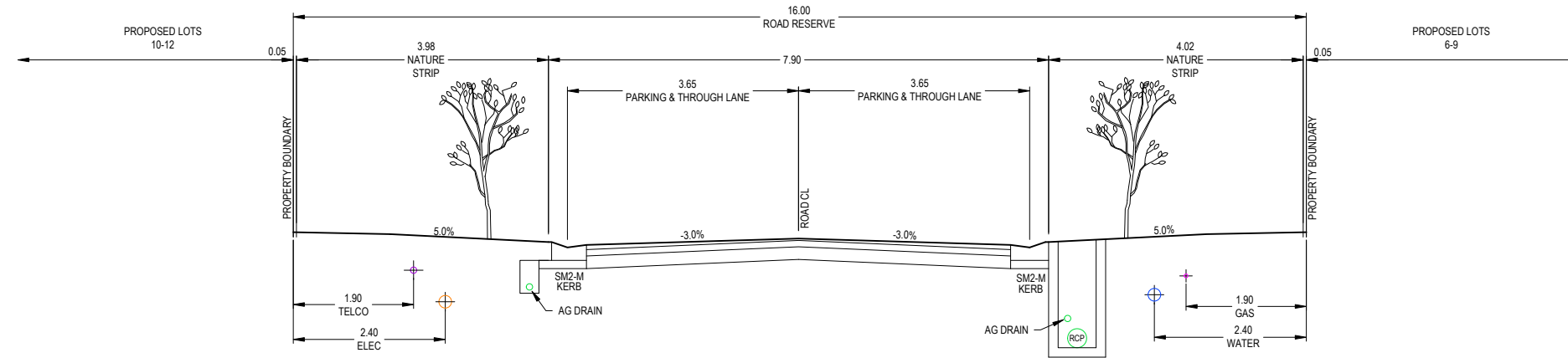
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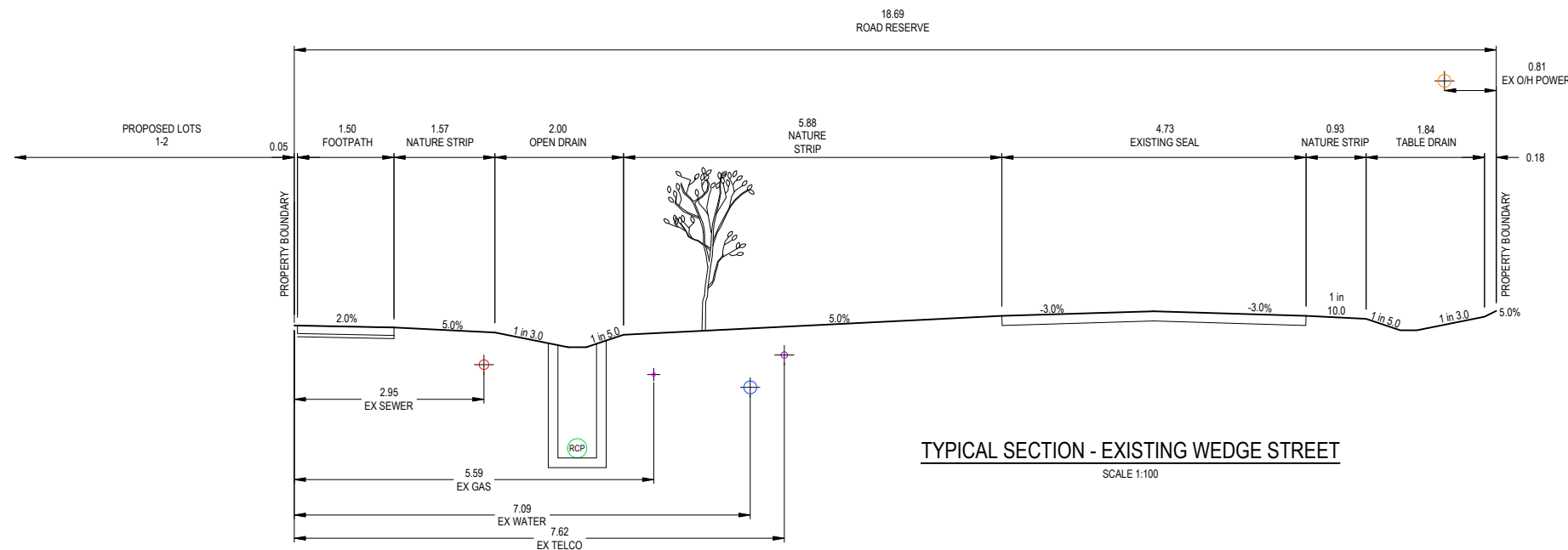
TYPICAL SECTION - GOVERNMENT ROAD RESERVE & POWLETT STREET WITH TABLE DRAIN  
SCALE 1:100



HALF TYPICAL SECTION - GOVERNMENT ROAD RESERVE & POWLETT STREET WITH DRIVEWAY  
SCALE 1:100



TYPICAL SECTION - ROAD ONE (CENTERED)  
SCALE 1:100

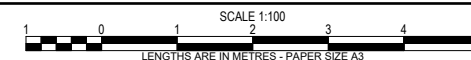


TYPICAL SECTION - EXISTING WEDGE STREET  
SCALE 1:100

REV	REVISION	DES	DWG	CHK	DATE
D	REVISED CATCHMENTS AND ADDED DRAINAGE RESERVE	BB	-	ME	10/02/23
C	WEDGE STREET WIDENED ON THE DEVELOPMENT SIDE	BB	ME	08/06/22	
B	AMENDMENTS TO LOT 2, 10, 18 DRIVEWAYS AND REDUCED NUMBER OF LOTS BY ONE	BB	ME	11/05/22	
A	AS SUBMITTED TO CLIENT	BB	ME	2/01/22	



**Tomkinson**  
SURVEY • ENGINEERING • PLANNING • PROJECT MANAGEMENT  
HEAD OFFICE: 57 MYERS STREET BENDIGO PH 03 5445 8700  
ABN 11 103 336 358 WWW.TOMKINSON.COM



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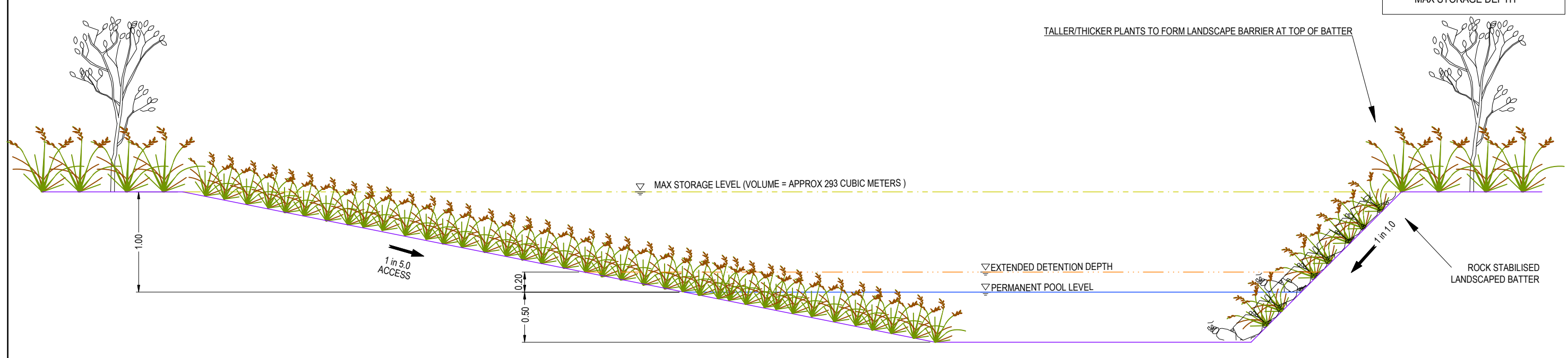
**88A - 90 WEDGE STREET**  
**KYNETON**  
TYPICAL SECTIONS - ROADS  
MACEDON RANGES SHIRE  
ADTS P/L

DWG STATUS:  
**CONCEPT**

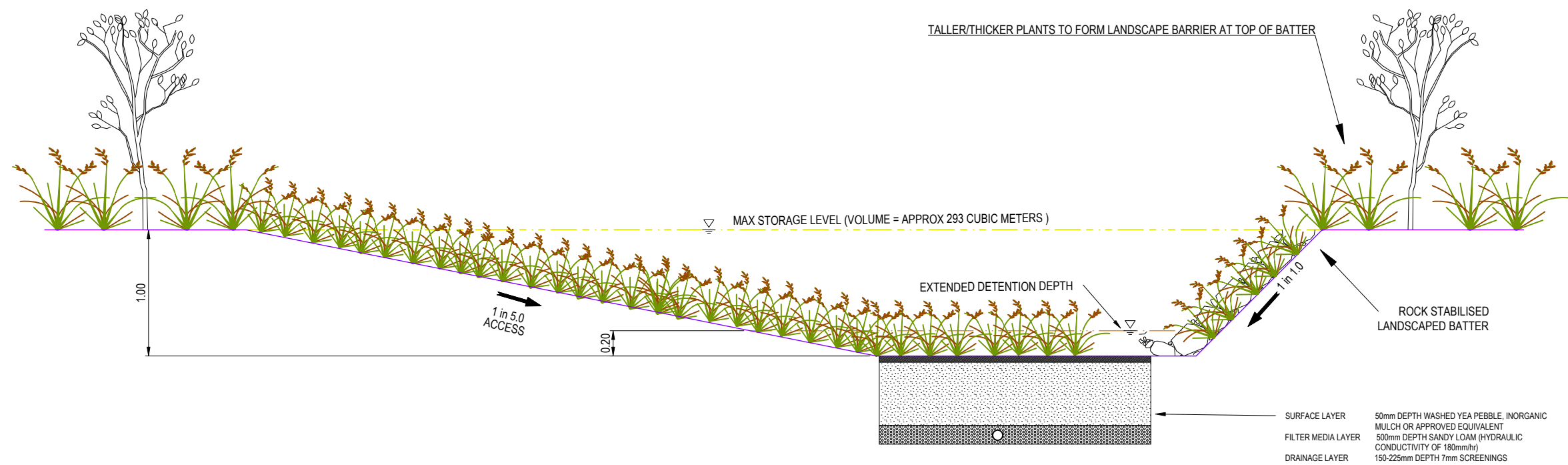
PROJECT & DWG No:  
1326301FLP04 / 06

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PLOT DATE: 10/02/2023 FILE: C:\12\DATA\TOMKINSON\88A-90 WEDGE STREET\1326301\1326301FLP-REV D.DWG

- LEGEND**
- DESIGN SEDIMENTATION BASIN
  - PERMANENT POOL DEPTH
  - EXTENDED DETENTION DEPTH
  - MAX STORAGE DEPTH



TYPICAL SECTION - SEDIMENT BASIN (A-A)



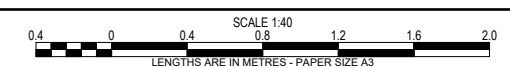
TYPICAL SECTION - RAINGARDEN (B-B)

- SURFACE LAYER 50mm DEPTH WASHED YEA PEBBLE, INORGANIC MULCH OR APPROVED EQUIVALENT
- FILTER MEDIA LAYER 500mm DEPTH SANDY LOAM (HYDRAULIC CONDUCTIVITY OF 180mm/hr)
- DRAINAGE LAYER 150-225mm DEPTH 7mm SCREENINGS

REV	REVISION	DES	DWG	CHK	DATE
D	REVISED CATCHMENTS AND ADDED DRAINAGE RESERVE	BB	ME	10/02/23	
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**88A - 90 WEDGE STREET KYNETON**  
 MACEDON RANGES SHIRE  
 ADTS P/L  
 DWG STATUS: **CONCEPT**  
 PROJECT & DWG No: 1326301FLP05/06

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**LEGEND**

- PROPOSED KERB & CHANNEL
  - EXISTING KERB & CHANNEL
  - PROPOSED DRAIN / PIT / I.S.
  - EX D --- EX D --- EXISTING DRAIN / PIT
  - H --- H --- PROPOSED HOUSE DRAIN / EASEMENT CONNECTION
  - H --- H --- EXISTING HOUSE DRAIN / EASEMENT CONNECTION
  - INVERT (DESIGN | EXISTING)
  - EDGE OF SEAL / EDGE OF BITUMEN (DESIGN | EXISTING)
  - TOP OF BANK (DESIGN | EXISTING)
  - BOTTOM OF BANK
  - PROPOSED TITLE BOUNDARY & SITE TITLE BOUNDARY
  - PROPOSED OR EXISTING EASEMENT
  - ET --- PROPOSED ELEC / TELSTRA CONDUIT & PIT
  - GW --- PROPOSED GAS & WATER CONDUIT
  - S --- PROPOSED SEWER AND MANHOLE
  - EX S --- EXISTING SEWER & MANHOLE
  - W --- PROPOSED WATER MAIN
  - EX W --- EXISTING WATER MAIN, FIRE PLUG AND VALVE
  - E --- PROPOSED ELECTRICITY MAIN
  - EX E --- EXISTING ELECTRICITY MAIN & PIT
  - OH E --- EXIST OVERHEAD ELECTRICITY
  - G --- PROPOSED GAS MAIN
  - EX G --- EXISTING GAS MAIN
  - T --- PROPOSED TELECO MAIN
  - EX T --- EXISTING TELECO CABLE
  - CATCH --- PROPOSED CATCH DRAIN
  - DAG --- DAG --- PROPOSED AG DRAIN
  - EXISTING DWELLING
- 
- STORMWATER SEDIMENT POND
  - LANDSCAPED BASIN (MAXIMUM LEVEL OF STORAGE)
  - STORMWATER EXTENDED DETENTION LEVEL
  - STORMWATER RAINGARDEN
  - ROAD SEAL
  - KERB
  - FOOTPATH
  - VEHICLE CROSSOVER
  - RESERVE/NATURE STRIP
  - LOTS
  - DRAINAGE RESERVE
  - 88 WEDGE STREET PROPERTY

**GENERAL DESIGN DETAIL PLAN NOTES**  
 APPLIES IN ALL CASES UNLESS STATED OTHERWISE

- KERB TYPES:
  - FRONTING LOTS = MODIFIED SM2 (IDM SD 100 - SM2-M)
  - FRONTING RESERVES = 450mm B2 AS PER IDM SD 100
- ALL KERB RETURNS ARE 8.0m RADIUS TO BOK
- ALL DRIVEWAYS AS PER IDM SD 240 & 245
- ALL FOOTPATHS CONCRETE & 1.5m WIDE @ 0.05m O/S AS PER IDM SD 205
- ALL SHARED PATHS CONCRETE & 2.5m WIDE @ 0.10m O/S BL AS PER IDM SD 205
- ALL EASEMENT DRAINAGE PIPES & PITS ARE 1.0m O/S BL & SIDE BOUNDARIES
- LEVEL 1 SUPERVISION REQUIRED FOR LOT EARTHWORKS UNLESS SPECIFIED OTHERWISE - REFER GENERAL NOTES
- ALL LOTS TO HAVE CATCH DRAINS ALONG SIDE & REAR BOUNDARIES
- CONTOUR INTERVAL 0.5m @ 1:1000 & 0.05m @ 1:200 / 1:250(A3) WHERE SHOWN

**WARNING**  
 BEWARE OF UNDERGROUND SERVICES  
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

D	REVISED CATCHMENTS AND ADDED DRAINAGE RESERVE	BB	-	10/02/23
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REV \_\_\_\_\_ DES DWG CHK DATE \_\_\_\_\_



**Tomkinson**  
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SCALE 1:1,000  
 LENGTHS ARE IN METRES - PAPER SIZE A3

**88A - 90 WEDGE STREET**  
**KYNETON**  
 CONCEPT FUNCTIONAL LAYOUT ON AERIAL PHOTO  
 MACEDON RANGES SHIRE  
 ADTS P/L

DWG STATUS: **CONCEPT** PROJECT & DWG No: 1326301FLP06/06 REV: D

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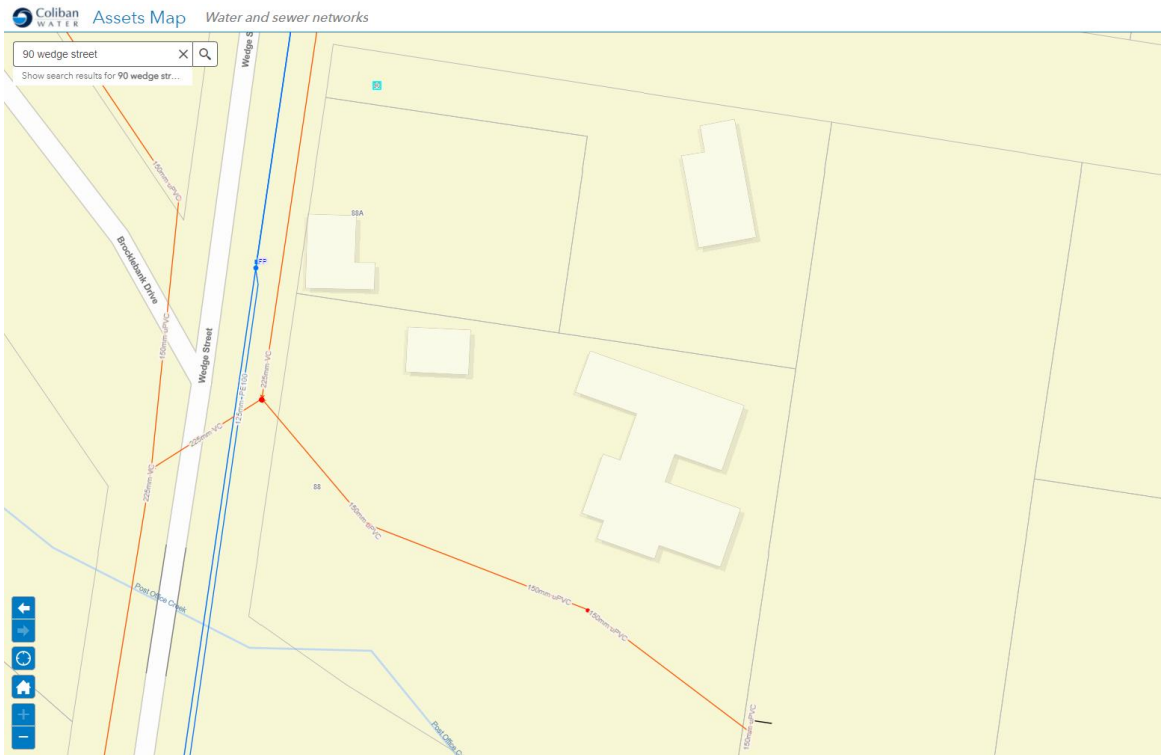
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**APPENDIX B SITE WATER AND SEWER**

*BLUE LINE = WATER*

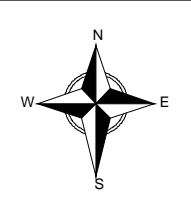
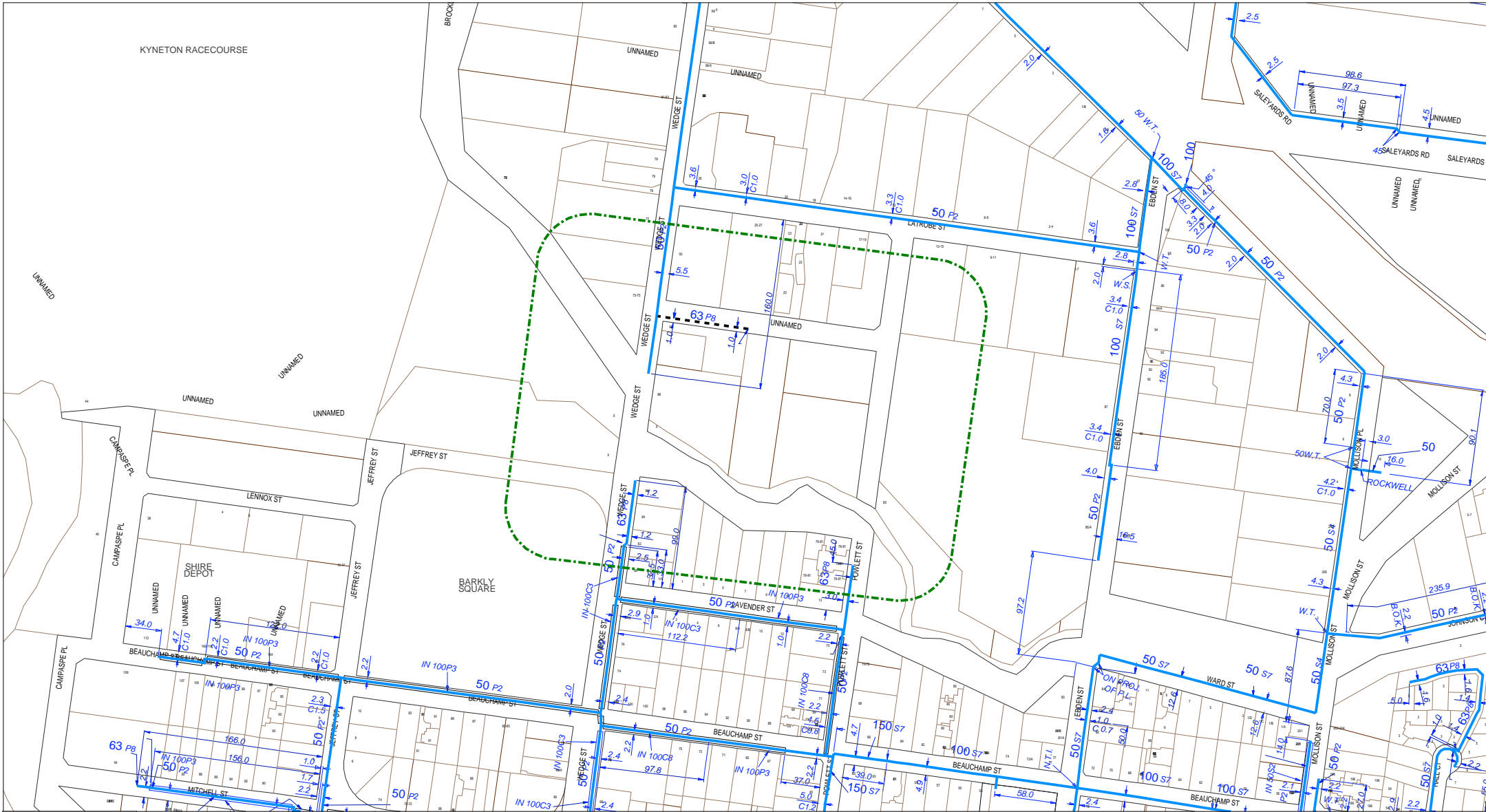
*PURPLE LINE = CLASS B WATER*

*RED LINE = SEWER*



---

APPENDIX C SITE GAS SUPPLY



NOTE: AusNet Services has taken care to ensure that the locations of Gas Mains shown on this plan are accurate however some variations from records do exist and complete accuracy is not guaranteed. It is essential that the position of pipes be proved on site by hand excavation. AusNet Services shall not be liable for any loss damage claim or demand incurred either directly or indirectly resulting from any act or omission which was made in reliance in whole or in part upon this plan.

Warning - Take Precautions if Printing this Plot in Black & White.  
All planned mains shall be treated as live mains, as mains under pressure may be in existence.

- - - - - Gas Transmission Pipeline
- = Gas Distribution Mains
- - - - - Planned Gas Assets
- - - - - Abandoned Gas Assets
- - - - - Requested Area

---

APPENDIX D SITE POWER SUPPLY

26/10/2021

Reference Number 204502375

Jack Maher  
Tomkinson  
57 Myers Street  
Bendigo

VIC

3550



Dear Customer

Thankyou for your enquiry on 26/10/2021 regarding the work at:  
88 Wedge Street Kyneton

## **A SEARCH OF OUR RECORDS SHOWS THAT THERE ARE UNDERGROUND ELECTRICITY ASSETS WITHIN THE AREA OF YOUR REQUEST**

### **DO NOT PROCEED UNTIL YOU HAVE READ THIS NOTICE IN FULL**

The following information is attached for your reference:

- Underground Electricity Asset location details
- Underground Electricity Hazard Awareness Instructions

To ensure that your proposed works do not impact on your safety or our assets please proceed as follows:

- Read all attached documents and observe the Exclusion Zones defined in the Underground Electricity Hazard Awareness Instructions
- Identify the locations of our Underground Electricity Assets from the attached documents

### **Are our Underground Electricity Assets located where you are planning to dig?**

**YES** - contact us for further advice. Contact details are available on the first page of the attached Underground Electricity Hazard Awareness Instructions (including **Request for Site Visit**)

**NO** - proceed with caution

**UNSURE** - contact us for further advice. Contact details are available on the first page of the attached Underground Electricity Hazard Awareness Instructions (including **Request for Site Visit**)

Please note that **no work is to be undertaken in the vicinity of our Underground Electricity Assets that may breach the Exclusion Zones** (as defined by the Underground Electricity Hazard Awareness Instructions) until the completion of a further technical assessment of the area.

Upon receipt of your **Request for Site Visit** form you will be contacted by a responsible officer to assess your requirements. A site visit will be organised if required. During the site visit we will determine the location of our assets and any Permit to Work conditions applicable to your works. We will also be able to provide further details of any additional works which may be required to enable you to safely complete your proposed works.

Please note that the Permit to Work site visit timeframes are subject to enquiry volumes and specific site locations, therefore it may require up to 10 working days to contact you and arrange a site visit

Regards, CitiPower & Powercor Dial Before You Dig (DBYD) response team



# Dial Before You Dig (DBYD) Electricity Asset Location Information

CitiPower/Powercor  
Locked Bag 14090, Melbourne VIC 8001  
General Enquiries Telephone: 132 206



**To:** ('Enquirer')  
Tomkinson - Jack Maher  
57 Myers Street  
Bendigo VIC 3550

## Enquiry Details

<b>Utility ID</b>	50021		
<b>Sequence Number</b>	204502375		
<b>Enquiry Date</b>	26/10/2021 10:35		
<b>Response</b>	<b>DANGER - Permit May Be Required</b>		
<b>Address</b>	88 Wedge Street Kyneton		
<b>Location in Road</b>	Road,Nature Strip,Footpath		
<b>Activity</b>	Planning and Design,Subdivision		

## Enquirer Details

<b>Customer ID</b>	3079142		
<b>Contact</b>	Jack Maher		
<b>Company</b>	Tomkinson		
<b>Email</b>	jmaher@tomkinson.com		
<b>Phone</b>	+61354458700	<b>Mobile</b>	

## Enquirer Responsibilities

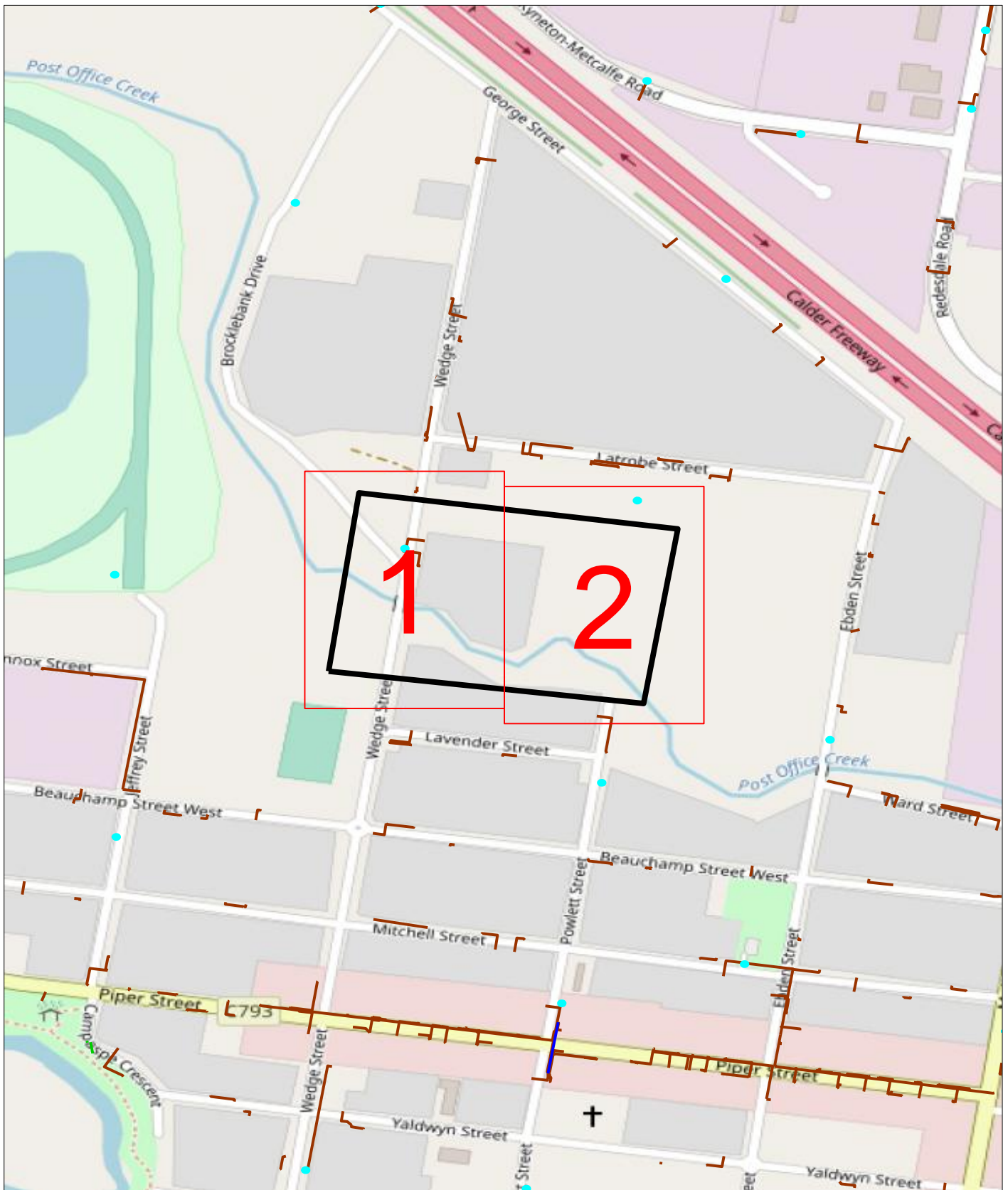
This notification is valid for 28 days from the issue date. CitiPower/Powercor assets are critical infrastructure and great care must be taken to avoid asset damage and risk to public safety. The information supplied in the DBYD Response is intended to be indicative only. External parties should make their own enquiries to ensure the accuracy of the information, including but not limited to:

- Check that the location of the dig site indicated is correct, if not you must submit a new enquiry.
- Should your scope of works change or the plan validity dates expire, you must submit a new enquiry.
- If you do not understand the plans provided please contact CitiPower/Powercor prior to works commencing.
- Always perform an onsite inspection to establish the presence of assets.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.

Report any asset damage immediately on 132 206. Note: CitiPower/Powercor reserves the right to recover compensation for damages.



**MAP IS A GUIDE ONLY- REFER TO CABLE PLANS FOR ACCURATE ASSET LOCATIONS**



**LEGEND:**

- DBYD Work Area
- SWER Substation
- High Voltage Cable
- Communication Cable
- Zone Substation
- Distribution Substation
- Low Voltage Cable
- Earth Cable

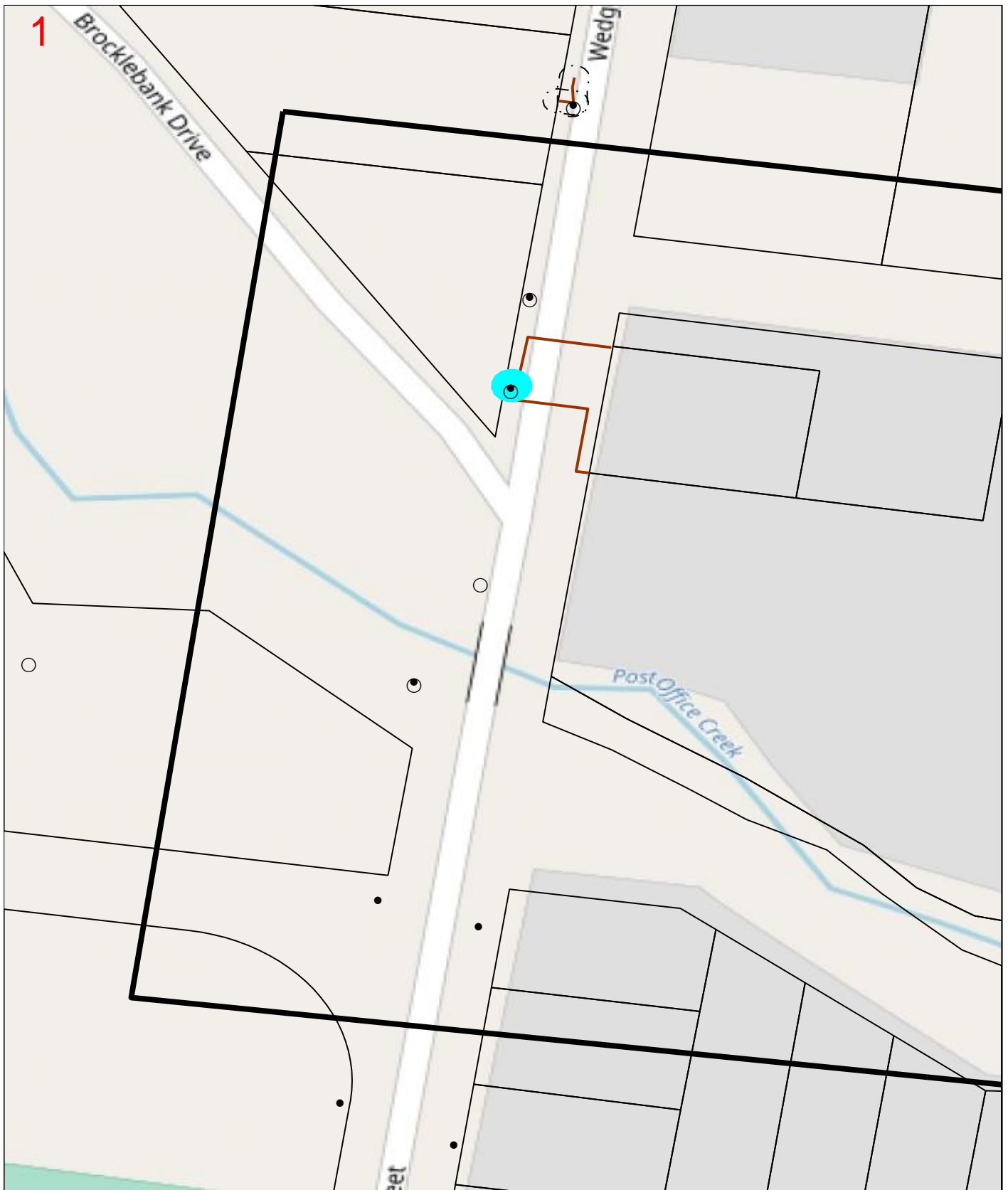
This map represents the location of the submitted DBYD Work Area and all CitiPower/Powercor responses are based on this location. It is the responsibility of the enquirer to ensure the accuracy of the DBYD Work Area.

0 0.06km



Imagery sourced from Open StreetMaps

**MAP IS A GUIDE ONLY- REFER TO CABLE PLANS FOR ACCURATE ASSET LOCATIONS**



### LEGEND:

- DBYD Work Area
- SWER Substation
- High Voltage Cable
- Communication Cable
- Pole (Subtransmission)
- Pole (LV)
- Zone Substation
- Distribution Substation
- Low Voltage Cable
- Earth Cable
- Pole (HV)
- Property Boundary

This map represents the location of the submitted DBYD Work Area and all CitiPower/Powercor responses are based on this location. It is the responsibility of the enquirer to ensure the accuracy of the DBYD Work Area.

0 0.01km



Imagery sourced from Open StreetMaps

**MAP IS A GUIDE ONLY- REFER TO CABLE PLANS FOR ACCURATE ASSET LOCATIONS**



### LEGEND:

- DBYD Work Area
- SWER Substation
- High Voltage Cable
- Communication Cable
- Pole (Subtransmission)
- Pole (LV)
- Zone Substation
- Distribution Substation
- Low Voltage Cable
- Earth Cable
- Pole (HV)
- Property Boundary

This map represents the location of the submitted DBYD Work Area and all CitiPower/Powercor responses are based on this location. It is the responsibility of the enquirer to ensure the accuracy of the DBYD Work Area.

0 0.01km



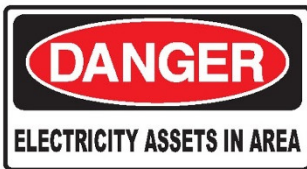
Imagery sourced from Open StreetMaps

# UNDERGROUND ELECTRICITY HAZARD AWARENESS INSTRUCTIONS



## For CitiPower & Powercor Dial Before You Dig customers

Always complete a **Dial Before You Dig** request before you proceed with any work plans



If there are **Underground Electricity** assets identified within your work area please ensure that you carefully evaluate all of the information provided

If any part of your proposed works impacts on the **EXCLUSION ZONES** shown on the next page then before proceeding you must contact CitiPower/Powercor to determine if a **PERMIT TO WORK** is required and to organise a **SITE VISIT**

Site Visit/Permit To Work applications may be lodged at:

<https://www.citipower.com.au/working-with-us/suppliers/online-permit-applications/site-visit/>

If you need assistance to determine if you need a Site Visit please call:



**CitiPower on 1300 301 101**



**Powercor on 132 206**

### Underground Electricity Asset Location Details Accuracy:

The Underground Electricity asset location details provided with this response are based on the best information available at the time

All reasonable care has been taken to ensure the accuracy of the information provided but complete accuracy cannot be guaranteed

Please be aware that the Underground Electricity Asset depths shown on the attached plans are accurate at the time of recording, however, due to works undertaken over the years by parties other than CitiPower/Powercor the Underground Electricity Asset depths may differ to those shown on the plans

**Contact with Underground Electricity Cables  
can cause serious injury or death**

**If you observe any Underground Electricity Assets  
that do not appear on the records provided**

**Stop Work Immediately**

**and contact CitiPower/Powercor on the above numbers**

# UNDERGROUND ELECTRICITY HAZARD AWARENESS INSTRUCTIONS

For CitiPower & Powercor Dial Before You Dig customers



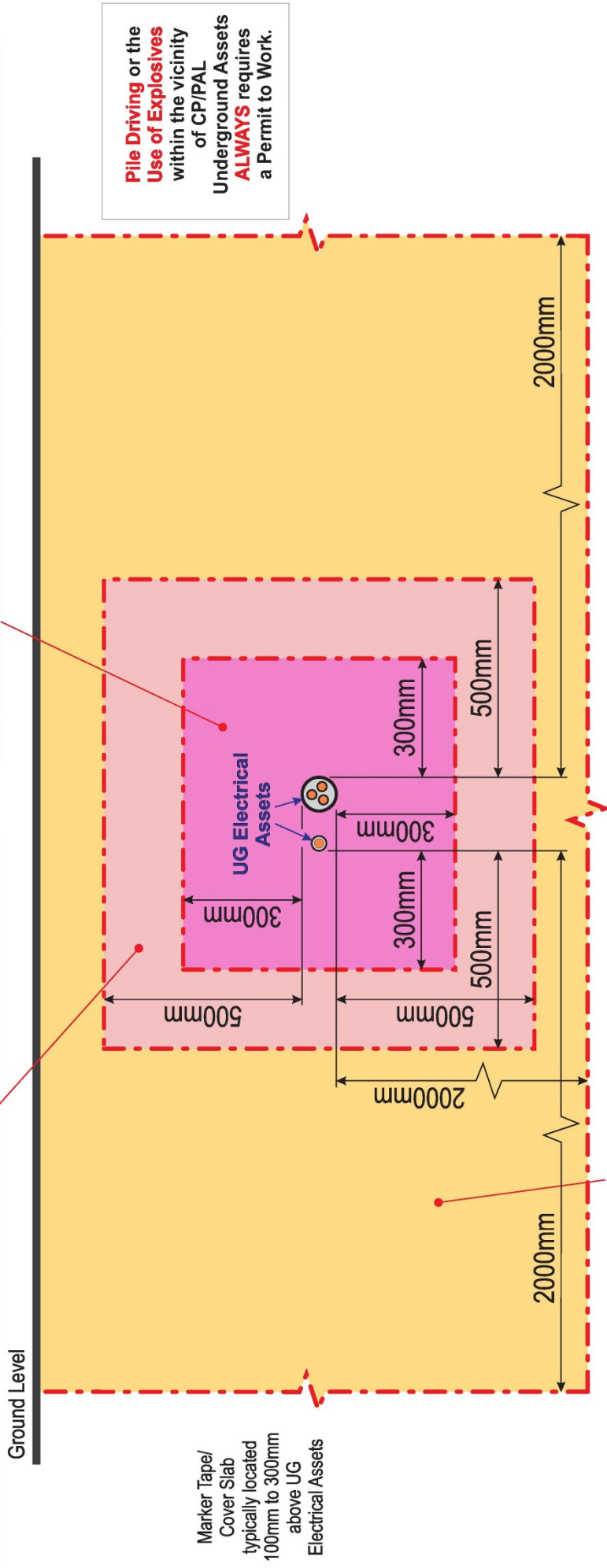
## EXCLUSION ZONES

**500mm Exclusion Zone**  
Heavy Machinery & Mechanical Excavation

Heavy (Crawler Type) Machinery operation and Mechanical Excavation within a 500mm distance of Underground Electricity Assets requires a Permit to Work

**300mm Exclusion Zone**  
Hand Tools Only

All Excavation within a 300mm distance of Underground Electricity Assets requires a Permit to Work and must only be performed with Hand Tools



Marker Tape/  
Cover Slab  
typically located  
100mm to 300mm  
above UG  
Electrical Assets

**2000mm Exclusion Zone**  
Works within this area that require a Site Technical Assessment and may require a Permit to Work includes:

Pot Hole Boring Machine (Vertical Boring), Directional Boring Machine, Excavations Parallel to Underground Electricity Assets, Excavations Across Underground Electricity Assets

**For Underground Electricity Asset location purposes:**

Careful Excavation by hand may be performed under a Permit to Work above energised Underground Electricity Assets within the Exclusion Zone. Excavation must cease once either Marker Tape, Cover Slab or top of asset is located. All excavation must be performed BY HAND using only non-powered tools. No disturbance of the Marker Tape, the Protective Cover or the Asset is allowed. Any disturbance must be reported immediately to CitiPower/Powercor.

**Excavation Below Underground Electricity Assets:**

All excavation BELOW Underground Electricity Assets outside of the Exclusion Zone must ensure that there is no disturbance to the asset and that the area is restored to full pre-excavation integrity upon reinstatement.

---

APPENDIX E SITE TELSTRA CABLE PLAN

# Cable Plan



For all Telstra DBYD plan enquiries -  
 email - [Telstra.Plans@team.telstra.com](mailto:Telstra.Plans@team.telstra.com)  
 For urgent onsite contact only - ph 1800 653 935 (bus hrs)

Sequence Number: 204502868

**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 26/10/2021 10:44:34

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.

# Mains Cable Plan



NBN CO. SITE  
 IPOLR NAME: NBN CO  
 TELSTRA IS NOT THE NETWORK PROVIDER FOR THIS DA AREA  
 DO NOT INSTALL TELSTRA CABLE OR ASSIGN SERVICES ON TELSTRA CABLE  
 ALL TELSTRA SERVICES ARE TO BE ASSIGNED ON NBN CO CABLE  
 KYNE DA956  
 PID 70-108586  
 22 LATROBE ST, KYNETON, VIC  
 31/08/17  
 AFR 17418306



For all Telstra DBYD plan enquiries -  
 email - [Telstra.Plans@team.telstra.com](mailto:Telstra.Plans@team.telstra.com)  
 For urgent onsite contact only - ph 1800 653 935 (bus hrs)

Sequence Number: 204502868

**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 26/10/2021 10:44:36

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

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