

SUBMISSION TO MACEDON RANGES SHIRE COUNCIL



DEVELOPMENT PLAN

88A-90 Wedge Street, Kyneton
Crown Allotment 25, 26 & 27, Section 50, Township of Kyneton
Lot 1 and Lot 2 - PS 524086Q

Prepared for ADTS P/L for Jasper Family Trust | July 2022 | Ref: 13263



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DESCRIPTION

Address	88a – 90 Wedge Street, Kyneton
Lot Description:	Crown Allotment 25,26 & 27 Wedge Street, Kyneton and Lot 1 and 2, on Plan of Subdivision 635086Q
Project Number	13263
Project Manager	Ben Yates
Reviewed by	Sam Hockly
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1. INTRODUCTION

Tomkinson has been engaged by ADTS PL as Trustee for Jasper Family Trust who are seeking approval of a Development Plan at 88a - 90 Wedge Street, Kyneton. The site contains five (5) parcels totalling approximately 1.97ha. The approval of a Development Plan (DP) will enable the subsequent application for a Planning Permit to be submitted to Council for an Eighteen (18) lot subdivision.

The subject site is located within the Macedon Ranges Shire Council and is contained wholly within the Neighbourhood Residential Zone (NRZ) of the Macedon Ranges Planning Scheme with associated schedule 10.

The site is subject to the following controls:

- Development Plan Overlay (DPO) and associated schedule 17
 - The site is located within Area A of Map 1
- Environmental Audit Overlay (EAO)
- Environmental Significant Overlay (ESO) and associated Schedule 4
- Land Subject to Inundation Overlay (LSIO) and associated schedule
- Protected Settlement Boundary (PSB)
- Cultural Heritage Sensitivity

The proposed Development Plan has been informed by the relevant provisions of the Macedon Ranges Planning Scheme and satisfies all associated application requirements.

Details of the site and its surrounds are provided in Section 3 of this document, details of the proposal are provided in Section 4, and an assessment in relation to the provisions of the Macedon Shire Planning Scheme is identified in Section 5.

The following documents are incorporated within the Development Plan and must be read in conjunction with this report.

- Copy of Title/s
- Environmental Audit – Letter of Progress
- CHMP – Letter of Progress
- Site Context Plan
- Feature Level Survey
- Proposed Subdivision Layout
- Building Envelope Plan
- Landscape Plan
- Functional Layout Plan
- Stormwater Management Strategy
- Traffic Report
- Acoustic Report
- Arboricultural Assessment
- Ecology Assessment incorporating Weed Management Plan
- Preliminary Servicing Report



2. SUMMARY

The subdivision of the subject site requires that the responsible authority must first consider and approve a Development Plan application. The table below details the provision within the Macedon Ranges Planning Scheme that has triggered the need for this application.

Provision	Clause	Trigger
Development Plan Overlay – Schedule 17	43.04-2	Requirement before a permit is granted: <i>A permit must not be granted to use or subdivide land, construct a building or carry out works until a Development Plan has been prepared to the satisfaction of the Responsible Authority.</i> (Subdivision)

2.1 POTENTIALLY CONTAMINATED LAND

Noting the presence of the Environmental Audit Overlay across the whole site, An Environmental Audit Statement (EAS) under Part 8.3 of the Environment Protection Act 2017 must be issued stating that the land is suitable for the use or proposed use prior to the commencement of works associated with a sensitive use (residential use, child care centre, kindergarten, pre-school centre, primary school). Thus an EAS will be required prior to the future subdivision and development of the site and to satisfy the requirements of DPO17 for land located in 'Area A'.

The site is currently subject to an environmental audit with the view to issuing a Statement of Environmental Audit demonstrating the suitability of the site to support the proposed use, the preparation of which is ongoing. The Development Plan has been submitted in the absence of the final Environmental Audit report and EAS. A letter of progress has been provided by the auditor engaged to complete the audit and EAS demonstrating the progress of the audit to date. Based on the information currently available and subject to review of the assessment consultant's final investigation report, significant issues which would prevent the site from being made suitable for the proposed use have not been identified. Refer to Appendix 2.

2.2 ABORIGINAL HERITAGE ACT

The subject site is affected by an area of Cultural Heritage Sensitivity. The Aboriginal Heritage Regulations 2018 defines an 18-lot subdivision as a High Impact Activity. Therefore In accordance with Section 7 of the Aboriginal Heritage Regulations 2018, a Cultural Heritage Management Plan (CHMP) is required to support any Planning Permit application submitted for the subject site. Whilst not a requirement for a DP application, the preparation of a CHMP has commenced to inform the subdivision and will be submitted with a future Planning Permit application.

The Cultural Heritage Management Plan is being undertaken in consultation with Taungurung Land and Waters Council (TLaWC) and Dja Dja Wurrung Aboriginal Corporation (DDWAC), the registered Aboriginal Parties for the CHMP Activity area. This Development Plan is submitted pending the final approval of the CHMP due to delays experienced with completing the required assessments. A field assessment is currently being completed and preparation of the final documentation is ongoing.

Australian Cultural Heritage Management (ACHM) have undertaken a standard assessment and completed a partial complex assessment in consultation with TLaWC and DDWAC. Initial Excavations have revealed some flaked stone artefacts and further archaeological excavations will continue but are expected to be delayed. A letter of progress has been provided by ACHM confirming their progress on the CHMP - See Appendix 3.



3. SITE AND SURROUNDS

Collectively identified as Crown Allotments 25, 26 & 27, and Lots 1 and 2 on Plan of Subdivision 635086Q, the subject site is formally addressed as 88a – 90 Wedge Street, Kyneton.

The site comprises of five (5) parcels measuring a total of approximately 1.97ha – See Figure 1.



Figure 1 – Subject site and title parcels.

The subject land is bounded by Wedge Street to the West, an unnamed road reserve to the North, an undeveloped portion of the Powlett Street road reserve adjoins the site's Eastern frontage, Post Office Creek bounds the southernmost portion of the site.

A majority of the site is undeveloped and forms the former garden setting of an adjoining dwelling, having been previously subdivided from the balance of land to form 88 Wedge street, Kyneton. A single dwelling is located within the parcel identified as Lot 2 - 635086Q which will be subsequently removed as part of future development of the site, should a permit be approved for subdivision. Scattered vegetation, comprising of mostly planted exotic vegetation is located throughout the site. Land falls generally south across the site towards Post-Office Creek, following the general topography of the area. A disused dam is located within the southernmost portion of the site. A feature and level survey has been prepared to accompany this submission – Refer to Appendix 5 for details.

The land is situated within the northeast peripheral of Kyneton and identified as an infill residential site which has been zoned Neighbourhood Residential Zone (Schedule 10) accordingly. The site is affected in its entirety by the Development Plan Overlay – Schedule 17 and forms part of the broader former industrial zone area to which the schedule pertains. The site is partially affected by the Land Subject to Inundation Overlay (LSIO) along the southern boundary.

The site is located within proximity to all services of the Kyneton township with all utility connections available.



Figure 2 – Subject site and context – NearMap December 2021

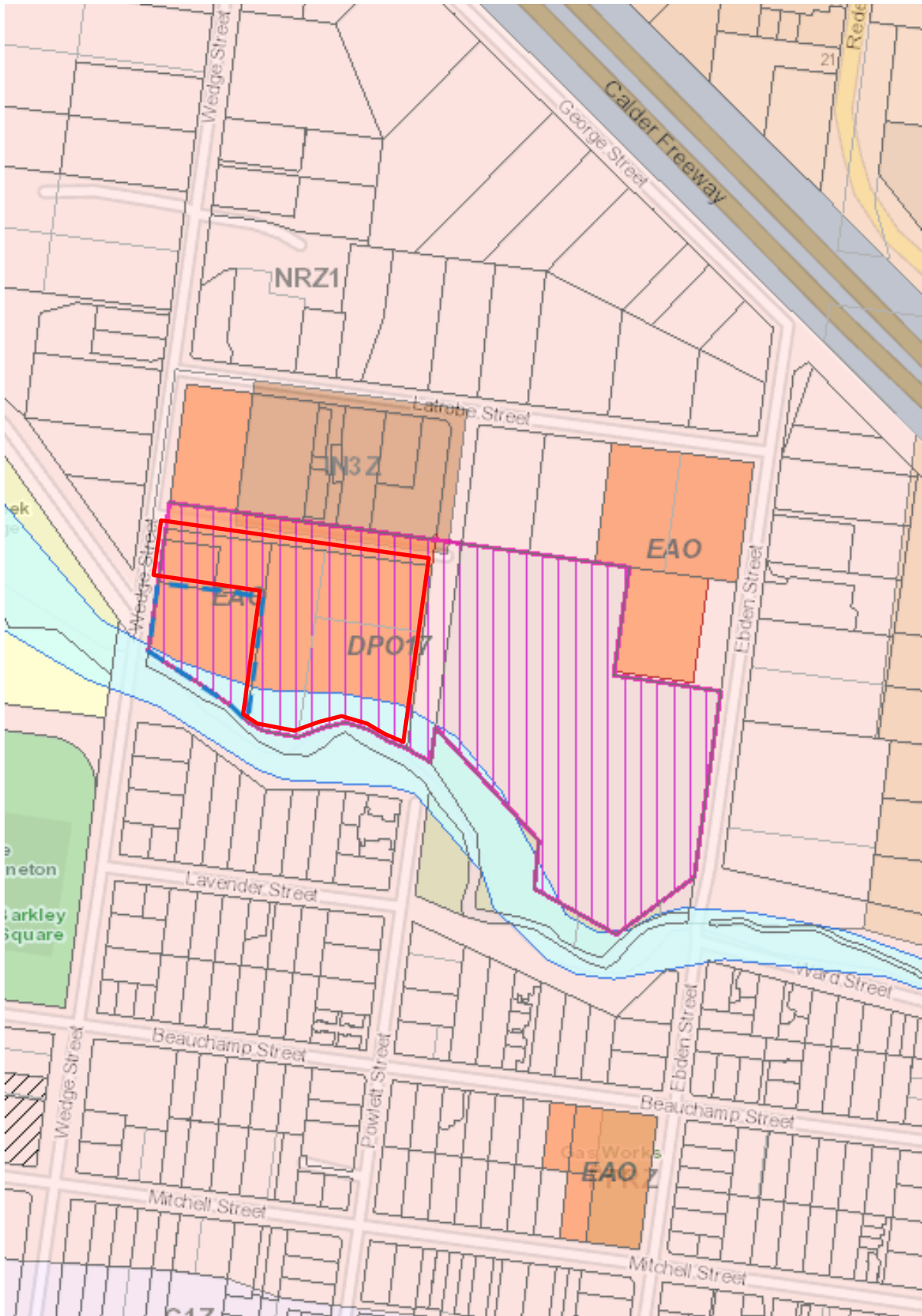


Figure 3: Zoning and Overlays



4. THE DEVELOPMENT PLAN



Figure 4: Proposed Layout and access design.

This Development Plan has been prepared to enable an application for the future subdivision of the subject land into Eighteen (18) lots and includes all of the associated requirements of DP017 for approval of a Development Plan. The Development Plan depicts and informs the future lot layout for a future planning application. See Appendix 6 for proposed layout.

Proposed lot sizes range from 605m² to 1021m² each of which have been assigned a building envelope as per the requirements of DP017 – Refer to Appendix 7 for Building Envelope Plan.

The future subdivision will be completed in one stage and comprise a total of 18 lots and a 5021m² landscaped reserve in the southern portion of the site. The reserve will incorporate existing vegetation and landscape features formerly associated with the existing garden setting of the site which have been considered in an arboricultural assessment to determine their long-term useability and contribution to biodiversity in the reserve area - Appendix 14. A Landscape Plan has been prepared to accompany the Development Plan illustrating proposed landscaping within the reserve and on roadside verges – See Appendix 8. A functional layout plan has been developed to illustrate proposed road upgrades and access required to facilitate development of proposed lots. Refer to Appendix 9 for details.

Future development of the reserve includes the partial backfilling of a dam onsite from stockpiled materials located in CA25 of the subject site which has already occurred. An Environmental Management Plan was developed to facilitate the safe the movement of the stockpiled soils in Lot 25 to the former dam in the southern portion of CA 27 in accordance with EPA requirements – See Appendix 10.

The following supporting studies and plans have been undertaken in accordance with the requirements of DP017 and inform the layout of the future subdivision and management of the reserve.

- Stormwater Management Strategy – Appendix 11
- Traffic Report – Appendix 12
- Acoustic Report – Appendix 13
- Ecology Assessment – Appendix 15
- Preliminary Servicing Report – Appendix 16



5. PLANNING CONTROLS

5.1 Planning Policy Framework

The following Planning Policy Framework (PPF) clauses are considered relevant to this proposal:

CLAUSE	RESPONSE
<p>Clause 11 – Settlement, including</p> <ul style="list-style-type: none"> - Clause 11.01-1S, Settlement - Clause 11.02-1S, Supply of urban land 	<p>The proposed Development Plan accords with the objectives of the Planning Policy Framework.</p> <p>The Development Plan Overlay requirements as contained within Schedule 17 have been satisfied to ensure that future development provides for the planned continued growth of Kyneton in a sustainable manner.</p> <p>The land once developed will provide linkages between settlements, provide for infill development and limit urban sprawl.</p> <p>The proposed Development Plan has taken into consideration the neighbourhood character requirements, in particular in terms of site layout.</p> <p>The proposed Development Plan is compatible with existing land uses in the area. An Acoustic assessment has been undertaken to determine existing noise levels from nearby industry and determine any design requirements for future dwellings to attenuate noise levels to an acceptable level, if required. See Appendix 13.</p>
<p>Clause 12: Environmental and Landscape Values, including</p> <ul style="list-style-type: none"> - Clause 12.01-1S: Protection of biodiversity - Clause 12.01-2S: Native vegetation management - Clause 12.03-1S: River corridor, waterways, lakes and wetlands 	<p>The proposed Development Plan has been informed by the provisions of the Macedon Ranges Planning Scheme and expert sub consultant reports as provided with this application in accordance with DPO17.</p> <p>The layout has been designed having regard to the existing site values. As identified within the Ecology Assessment provided with the Development Plan (Appendix 15), all vegetation on site has been planted and mostly exotic. An assessment of any threatened communities has also been completed and found that the site was absent of such communities. Of particular interest within the assessment were the high threat weeds recorded on site which are listed under the <i>Catchment and Land Protection Act 1994</i>. As a result, a Weed Management Plan has been developed and will form part of a future Planning Permit Application for subdivision.</p> <p>While much of the existing garden setting onsite will be removed, existing garden vegetation within the proposed reserve area will be retained for its contribution to amenity and biodiversity. An Arboricultural Assessment has been completed as a component of the Development Plan demonstrating the ability of vegetation in this area to provide a long-term contribution to the environmental values of the area. See Appendix 14.</p> <p>Post Office Creek is considered to be an area which requires careful consideration when developing the site, to ensure that</p>



	<p>water quality is retained and that ongoing management of the riparian buffer is guaranteed. The ecological assessment prepared to accompany this submission assists in the ongoing management of the area to ensure the protection of Post Office Creek by incorporating management strategies for the riparian buffer through the strategies of the weed management plan. In addition, all proposed lots are to be connected to reticulated sewer, assisting in protecting the quality of the waterway at Post Office Creek.</p>
<p>Clause 13 – Environmental Risks & Amenity</p> <ul style="list-style-type: none">- 13.07-1S - Land use compatibility	<p>The proposed Development Plan is located in an existing residential context with an interface to industrial land to the north. The development plan is compatible with the existing residential setting and no offsite impacts will occur to future development of the site in accordance with the plan.</p> <p>Sufficient separation distance from prevailing light industrial uses in the adjacent precinct is provided to future residential lots as a result of the existing adjoining road reserve and building envelope setbacks.</p> <p>An acoustic assessment has been prepared in support of the proposal demonstrating that the incidence of noise from local industry is low and is easily attenuated with standard noise mitigation construction requirements for dwellings directly adjacent to the industrial area to the north of the project site. Construction requirements may be stipulated through conditions of a future planning permit for subdivision.</p> <p>The proposed development plan will not prejudice the ability of the IN3Z land to sustain prevailing and future uses that are consistent with the purpose of the zone and vice-versa. "As of right" uses in the industrial land must meet setback requirements and criteria to ensure no impacts on surrounding residential land providing for protection of residential uses in the DP area. Any future industrial uses in adjacent IN3Z land with potential for amenity impacts will require planning approval and mitigation measures required to be implemented accordingly, thereby guaranteeing no offsite impacts.</p>
<p>Clause 14: Natural Resource Management, including</p> <ul style="list-style-type: none">- Clause 14.02-2S: Water quality	<p>The proposed Development Plan has taken into consideration the values of Post Office Creek. All lots are proposed to be connected to reticulated sewerage, and a Stormwater Management Strategy (Appendix 11) has been prepared. Furthermore, a weed management plan has been prepared to assist in the protection, enhancement and ongoing management of the riparian buffer of Post Office Creek.</p> <p>The aforementioned plans have been prepared to inform and assist with the future development and ongoing management of the site and riparian zone within the North bank of Post Office creek, which will in turn assist in maintaining and enhancing water quality.</p>
<p>Clause 16: Housing, including</p> <ul style="list-style-type: none">- Clause 16.01-1S: Housing supply	<p>The proposal will aid in delivering Kyneton additional opportunities for housing within an area already zoned appropriately for the purpose of dwellings. The proposed lot</p>



	<p>sizes are consistent with the prevailing range of lot sizes in the broader extent of the NRZ – Schedule 10 area.</p> <p>The proposed Development Plan once approved, will enable the submission of a Planning Permit Application for the subdivision of land which will, if approved provide for the construction of eighteen (18) additional dwellings in this location with lot sizes appropriate to the zone, further enhancing the area.</p>
<p>Clause 19: Infrastructure, including</p> <ul style="list-style-type: none"> - Clause 19.03-2S: Infrastructure design and provision - Clause 19.03-3S: Integrated water management 	<p>The proposal has been designed to enable connection to existing services within the area and will be extended to service the whole of the land.</p> <p>The proposed Development Plan has considered the availability of sewer and therefore will provide for reticulated services to service the site as demonstrated in a Preliminary Servicing Investigation (Appendix 16).</p> <p>Stormwater management has been considered in the development of the lot layout and a Stormwater Management Strategy (Appendix 11) has been prepared and submitted with this application.</p>
<p>Clause 21: Municipal Strategic Statement, including:</p> <ul style="list-style-type: none"> - Clause 21.02: Key issues and influences - Clause 21.04: Settlement - Clause 21.05: Environment and Landscape Values - Clause 21.06: Environmental Risks - Clause 21.08: Built Environment and Heritage - Clause 21.09: Housing - Clause 21.11: Transport - Clause 21.12: Community Development and Infrastructure - Clause 21.13: Local areas and small settlements 	<p>The proposed Development Plan supports the Local Planning Policy Framework including the Municipal Strategic Statement.</p> <p>The proposed Development Plan has considered the relevant key influences regarding Streetscapes for Kyneton contributing to the amenity and character of urban areas and consideration of Aboriginal Cultural Heritage. This is demonstrated through both the proposed Building Envelope Plan and the Landscape Plan submitted with this application.</p> <p>The Development Plan has been informed by the relevant sections of the Macedon Ranges Planning Scheme which has guided the layout.</p> <p>The Development Plan is consistent with the goals of settlement planning by providing for housing with good access to infrastructure and services. Settlement planning for Macedon Ranges recognises Kyneton as a regional centre which is acknowledged as having the highest levels of infrastructure, services, and employment within the municipality.</p> <p>Post Office Creek is the main component of this site for Environmental consideration. To assist in informing this application and the future Planning Application for subdivision, an Ecology Assessment of the site has been undertaken which includes a Weed Management Plan. The findings contained within the Ecology Assessment note that all vegetation on site is planted with extensive gardens and pathways. The findings note the absence of any matters of National Environmental Significance and note that from the threatened species assessment it was considered low likelihood of occurrence on site due to limited habitat and the highly modified condition of the site.</p> <p>Clause 21.06 is relevant to this proposal. An Environmental Audit Overlay applies to the subject land. An assessment of the site has been undertaken and development of an Environmental Audit Statement is ongoing. Progress reports are supplied as</p>



part of this application to support approval of a Development Plan.

Clause 21.08 is relevant to this proposal. A Cultural Heritage Management Plan has been prepared for the site and submitted to Aboriginal Victoria for registration and on-site management advice for the future Planning Permit Application for subdivision.

Clause 21.11, Transport and Clause 21.12 Community Development and Infrastructure are considerations for this application. Having regard to the Macedon Ranges Planning Scheme regarding the existing Zoning of the land, the site is considered an appropriate location for residential development. The location is considered to be within ideal proximity for parks/open space and is a manageable walk (within 20 minutes) to general retail. Furthermore, a Traffic Report has been prepared and forms part of the reports submitted with this application which verifies the above – Appendix 12.

The proposed Development Plan has been designed with consideration of the Strategies outlined within Clause 21.13, Precinct 3: Kyneton Post World War II, Residential Precinct, and is considered to comply with these requirements. In particular, the site being identified as a Strategic redevelopment site within the Precinct (Land north of Post Office Creek between Wedge Street and Ebden Street).



5.2 Zone/Overlays

5.2.1 Clause 32.09 Neighbourhood Residential Zone – Schedule 10

The site is included within the Neighbourhood Residential Zone (NRZ) – Schedule 10 (NRZ10) of the Macedon Ranges Planning Scheme. The purpose of the zone, as relevant to the Development Plan is stated as follows:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To recognise areas of predominantly single and double storey residential development.*
- *To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.*

Pursuant to Clause 32.09-3, a planning permit is required to subdivide land.

The proposed Development Plan is consistent with the Municipal planning Statement and Planning Policy Framework and achieves a future subdivision outcome consistent with the purpose and associated Neighbourhood Character objectives of NRZ10.

5.2.2 Clause 43.04 Development Plan Overlay – Schedule 17 (DP017)

The subject site is affected by a Development Plan Overlay (DPO) and associated schedule 17 (DP017).

The purpose of the DPO is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To identify areas which require the form and conditions of future use and development to be shown on a development plan before a permit can be granted to use or develop the land.*
- *To exempt an application from notice and review if a development plan has been prepared to the satisfaction of the responsible authority.*

Clause 43.04-2 requires that a Development Plan must be prepared to the satisfaction of the Responsible Authority for the site before a Planning Permit can be granted to 'use or subdivide land, construct a building or construct or carry out works.'

Once a Development Plan is approved, any permit granted must:

- *Be generally in accordance with the development plan.*
- *Include any conditions or requirements specified in a schedule to this overlay.*

Preparation of the Development Plan

Clause 43.04-4 details the requirements for a Development Plan. The following table details these requirements and response as relevant to the proposal.

APPLICATION REQUIREMENT	PROPOSAL RESPONSE
The development plan may consist of plans or other documents and may, with the agreement of the responsible authority, be prepared and implemented in stages.	The Development Plan once approved will inform the future Planning Permit Application for an eighteen (18) lot subdivision and it is anticipated that the future subdivision will not be staged.
A development plan that provides for residential subdivision in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone, Township Zone, Comprehensive Development Zone and Priority Development Zone	A response to the requirements of Clause 56 as relevant to the Residential Neighbourhood Zone is provided in Section 6.2.3 of this document.



must meet the requirements of Clause 56 as specified in the zone.	
<p>The development plan must describe:</p> <ul style="list-style-type: none"> ▪ The land to which the plan applies. ▪ The proposed use and development of each part of the land. ▪ Any other requirements specified for the plan in a schedule to this overlay 	<p>This report satisfactorily responds to this requirement as detailed in Section 4 and 5.</p> <p>A response to the requirements of DPO17 is included in the content of this submission.</p>

Schedule 17 – Development Plan Overlay

Schedule 17 to Clause 43.04 details the specific requirements of a Development Plan relating to Clause 43.04, Wedge & Ebdon Streets, Kyneton. The following table details these requirements and how the proposal has responded.

REQUIREMENTS FOR DEVELOPMENT PLAN	PROPOSAL RESPONSE
1.0 OBJECTIVE	
To ensure coordinated residential development in the areas (A and B) as shown on the map in this schedule and to coordinate the provision of necessary infrastructure and to ensure the protection of natural features, especially Post Office Creek.	<p>The Development Plan as submitted relates to Area A for Wedge Street, Kyneton.</p> <p>Area A contains 88, 88A and 90 Wedge Street.</p> <p>The Development Plan is associated with 88A and 90 Wedge Street</p>
4.0 REQUIREMENTS FOR DEVELOPMENT PLAN	
A Development Plan must be prepared for all of the land within Area A or B (as marked on the map within this schedule) rather than a subset of Area A or B, unless otherwise agreed to by the responsible authority. A development plan may be prepared for one of Areas A or B, or both Areas A and B.	
The development plan must include the following requirements to the satisfaction of the responsible authority, as appropriate:	
A subdivision design for all of the land covered by the plan which identifies the location, dimension and area of all lots.	<p>A subdivision layout has been prepared in accordance with the requirements of DPO17 and NRZ10.</p> <p>▶ Refer to Appendix 6.</p>
<p>The provision of convenient internal and external access.</p> <p>The provision of appropriate integration and linkages to the established road networks and linkages to allow for future access opportunities to adjacent land.</p>	<p>A functional layout design demonstrating the ability of the subdivision to integrate with the existing road network while providing safe access to future lots has been prepared as a component of this Development Plan.</p> <p>▶ Refer to Appendix 9.</p>
Lots oriented to maximise solar access and energy efficiency.	The proposed lot layout provides opportunity for development of dwellings that achieve optimum solar access. All proposed allotments will allow for development of a dwelling with a north facing aspect while avoiding overshadowing adjoining dwellings. .



<p>A building envelope for each lot which is consistent with the preferred neighbourhood character for the Kyneton Township Residential Village West Precinct.</p>	<p>A Building Envelope Plan consistent with the preferred neighbourhood character for the Kyneton Township Residential Village West Precinct has been prepared as a component of the Development plan – Appendix 7.</p> <p>The Building Envelope Plan provides for front setbacks to encourage landscaped front and rear gardens with space for establishment of mature vegetation. Consistent side setbacks will encourage a consistent pattern of detached dwellings within the new subdivision and achieve the modified clause 54/55 objectives for NRZ10.</p> <p>Consistent 5m rear setbacks allow for private open space in accordance with NRZ10 requirements.</p>
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<p>Any requirements of the environmental audit that need to be addressed in Area A.</p>	<p>The subject land is located in Area A of DPO17 mapping.</p> <p>As the land is affected in its entirety by the EAO, an Environmental Audit Statement (EAS) under Part 8.3 of the Environment Protection Act 2017 must be issued stating that the land is suitable for the use or proposed use prior to the commencement of works associated with a sensitive use (residential use, child care centre, kindergarten, pre-school centre, primary school). Thus an EAS will be required prior to the future subdivision and development of the site and to satisfy the requirements of DPO17 for land located in 'Area A'.</p> <p>The site is currently subject to an environmental audit with the view to issuing a Statement of Environmental Audit demonstrating the suitability of the site to support the proposed use, the preparation of which is ongoing. The Development Plan has been submitted in the absence of the final Environmental Audit report and EAS. A letter of progress has been provided by the auditor engaged to complete the audit and EAS demonstrating the progress of the audit to date. Based on the information currently available and subject to review of the assessment consultant's final investigation report, significant issues which would prevent the site from being made suitable for the proposed use have not been identified - Refer to Appendix 2.</p>
<p>A landscaping plan for roadside verges.</p>	<p>The Development includes provision of a detailed landscape design proposing landscape treatments and plantings for roadside verges and the proposed reserve to be developed as a future component of a subdivision - Refer to Appendix 8.</p>
<p>A management plan for the riparian zone along the north bank of Post Office Creek for Area A.</p>	<p>A detailed Ecology Assessment incorporating a Weed Management plan has been prepared in conjunction with the Development Plan.</p> <p>The Weed Management Plan outlines strategies for the management of the riparian zone of Post Office Creek adjoining the subject land to ensure the long-term</p>



	<p>maintenance of the waterway and protection and retention of native vegetation and habitat in this area</p> <p>Refer to Appendix 15.</p>
<p>Stormwater and drainage design, which includes:</p> <ul style="list-style-type: none">▪ An integrated approach to stormwater system management designed and implemented on a catchment wide basis, that includes consideration of development impacts and provides for the stormwater management of any construction stage(s), interim stage(s) and the final development.▪ A stormwater management system that ensures peak discharge rates, volumes and pollutant loads of all stormwater leaving a site post development are no greater than pre-development and that ensures no detriment to any surrounding area or the water quality of Post Office Creek.▪ Identification of all land to be set aside for drainage purposes, detailing the approximate size and location of all drainage reserves and system components and that:<ul style="list-style-type: none">▪ Includes measures to safely control discharge for all storms, including 1 in 100 year ARI events.▪ Includes designation of all floodways or areas subject to inundation.▪ Identifies and quantifies any site discharge off the site, detailing the location and manner of discharge across the site boundary.	<p>A Stormwater Management Strategy has been prepared for the site and forms part of the Development Plan.</p> <p>Section 3 of the Stormwater Management Strategy outlines in detail the design intent, stormwater management, water sensitive urban design and flood management.</p> <p>It is considered that the strategy has accounted for all the requirements of the Development Plan, has informed the proposed design and complies with the objectives of DP017. Refer to Appendix 11.</p>



<p>The provision of necessary physical and social infrastructure, including road and footpath works, traffic management improvements, drainage, community infrastructure elsewhere in the town that may be used by future residents in the development.</p> <p>The provision of all infrastructure reasonably required by the development of the land identified in this schedule, whether within or outside the developable area, and at no cost to the responsible authority.</p>	<p>All necessary infrastructure will be provided to the future development of the site and all preliminary investigations have been undertaken as part of this Development Plan.</p> <p>A Preliminary Servicing Report has been prepared to determine the ability of future development on the site to provide the necessary physical and social infrastructure such as utilities, footpaths, roads and drainage assets to future dwellings - Refer to Appendix 16.</p> <p>This Development Plan includes the provision of a Traffic Impact Assessment to determine existing traffic volumes and future traffic generation, distribution and impact from the future development of dwellings in accordance with the proposed layout. The assessment includes commentary on the ability of the existing and proposed road network to support the additional traffic volumes and general design advice - Refer to Appendix 13.</p>
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5.2.3 Clause 44.01 – Land Subject to Inundation Overlay

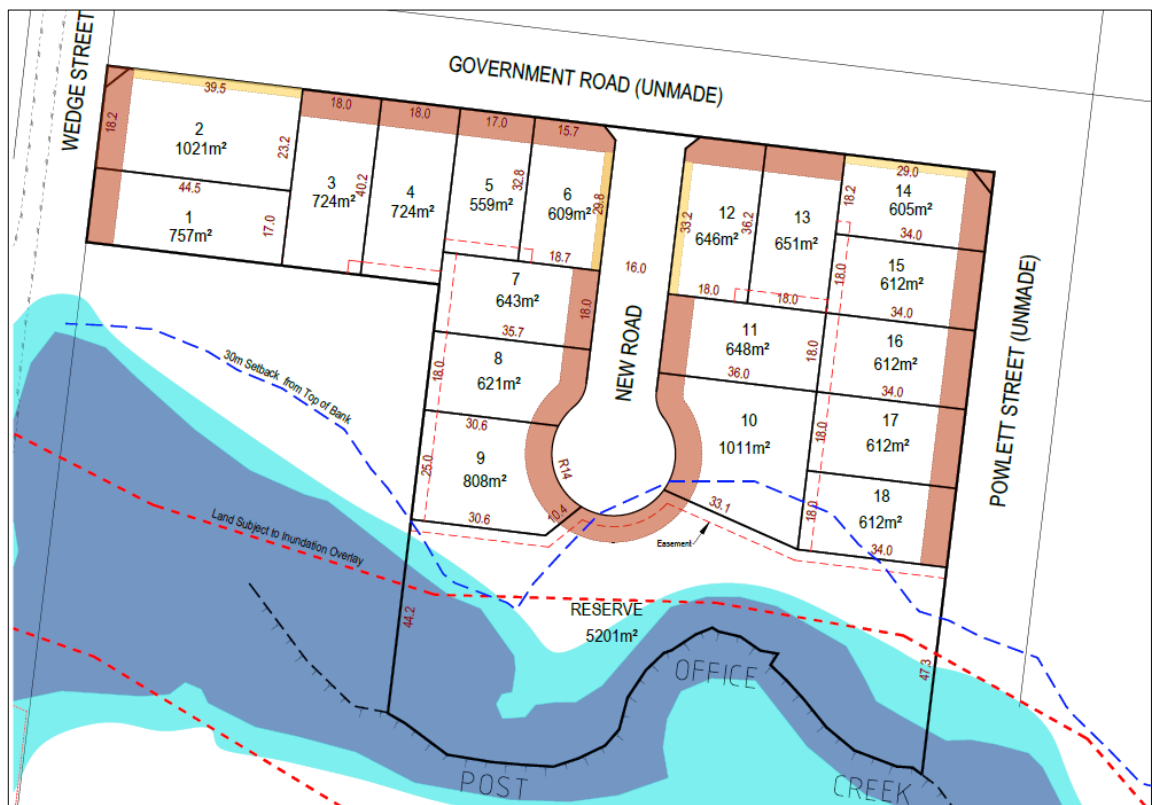


Figure 5 – Flooding extents adjoining site.

A planning permit will be required to undertake works within the LSIO affected areas of the site which form the proposed reserve. The requirements of LSIO have been considered by the development plan, and the proposed layout was developed using flooding data available from NCCMA. All allotments will be located outside LSIO affected areas, above the 1 in 100-year flood level and achieve an average setback of greater than 30m, as demonstrated above (figure 5). Refer to attachment 6 for detailed plans.



5.2.4 Clause 56 Residential Subdivision

The requirements of Clause 43.04, Development Plan Overlay (DPO) require an assessment for any subdivision of land against the relevant provisions of Clause 56 relevant to the Neighbourhood Residential Zone of the Macedon Ranges Planning Scheme.

The following table details the requirements of Clause 56 for an 18-lot subdivision and how the future subdivision proposal has responded.

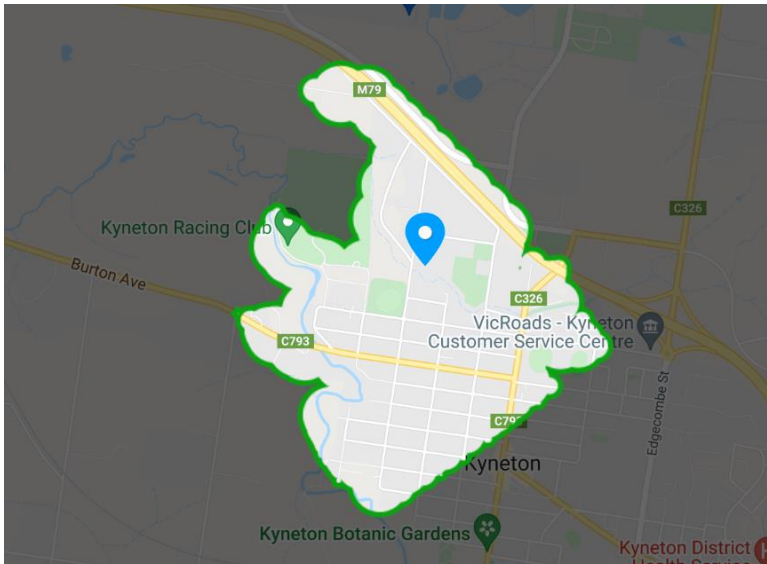
CLAUSE 56 ASSESSMENT	
CLAUSE	RESPONSE
56.01-1 Subdivision Site and Context Description	The contents of this report and its attachments assist in responding to this clause. Site plan, photographs and written site and context analysis are included. Refer to Section and associated Site Context Plan (Appendix 4).
Clause 56.01-2 Subdivision Design Response	Refer to Section 4 of this report for 'Development Plan'
Standard C1 Clause 56.02-1 Strategic Implementation objective	<p><input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED</p> <p>The proposal is consistent with the strategies identified within Clause 21.13 for Kyneton. That is 'Prioritising growth within the identified town boundary, supporting infill development within existing residential zoned land, consistent with the identified neighbourhood character precinct, protecting and enhancing the landscape character, waterways and the network of open space corridors, namely Post Office Creek'. Furthermore, the proposed layout secures areas of open space adjoining Post Office Creek and contains a management plan for the protection, enhancement and ongoing management of the riparian area.</p> <p>The proposed subdivision layout complete with Building Envelope Plan and landscape plan demonstrates that the proposed Development Plan, will create a neighbourhood in keeping with surrounding streetscapes, able to be developed with detached single dwellings, front garden and street trees. These requirements have been informed by the objectives and requirements DPO17.</p>
Standard C5 Clause 56.03-4 Built environment objective	<p><input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED</p> <p>Consistent with local planning policies, the proposed subdivision increases density within the designated Kyneton residential boundaries by developing a site identified as a strategic development site. Lot sizes range from 605m² to 1021m². The proposed layout has been designed in accordance with the provisions of the DPO, specifically schedule 17. Street and boundary setbacks are demonstrated on the Building Envelope Plan and the landscape plan demonstrates an attractive environment with open space providing for a contribution to a sense of place for the neighbourhood. There is a mix of public transport available to the location, with local bus routes and the Kyneton Railway station approximately 2.5km from the subject site. The Kyneton town centre is located a driveable and bikeable distance away (1.2km) and within walking distance for general retail.</p>



Standard C7 Clause 56.04-1 Lot diversity and distribution objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	Lot sizes range from 605m ² to 1021m ² . The proposed layout has been designed in accordance with the provisions of the DPO, specially schedule 17.	
Standard C8 Clause 56.04-2) Lot area and building envelopes objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	This subdivision has adopted an appropriate design response with orientation towards the existing (Wedge Street) and proposed upgraded street network (unnamed road to the north and east). Roads and streets front public open space where applicable.	
Standard C9 Clause 56.04-3 Solar orientation of lots objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	The new lots enable good solar exposure for proposed future residences. This subdivision has been appropriately sited to maximise solar access to each lot. The subdivision design will also allow northern light to be provided to habitable room windows.	
Standard C10 Clause 56.04-4 Street orientation objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	<p>The proposed subdivision layout ensures that all allotments front roads and streets. No lots are orientated to arterial roads. The design incorporates a court bowl which provides pedestrian linkages to the reserve adjoining Post Office Creek, furthermore this reserve is accessible via the unmade road reserve to the east providing future connectivity for land to the East.</p> <p>There are three (3) lots immediately abutting the reserve which will be subject to a future section 173 agreement registered on title informing how future development of the lots must be designed. Driveways for the proposed lots abutting the reserve have been designed to be placed on the northern boundary to ensure that walls of any future garages do not dominate the landscape.</p>	
Standard C11 Clause 56.04-5 Common area objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	Not applicable - the proposed subdivision under this Development Plan application does not create any common property	
Standard C12 Clause 56.05-1 Integrated urban landscape objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	The proposed subdivision incorporates natural features into the design of streets and public open spaces, endeavours to enhance natural riparian areas and will provide landscaping that contributes to the identity of the overall development.	
Standard C13	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED



<p>Clause 56.05-2 Public Open Space objectives</p>	<p>The proposed subdivision contributes to public open spaces with the creation of a reserve adjoining Post Office Creek. This reserve will allow for future linkages to adjoining strategic development sites within the location (i.e. Area B), it will contribute to and encourage healthy and active communities and sustainable neighbourhoods.</p>
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<p>Standard C15 Clause 56.06-2 Walking and cycling network objectives</p>	<p><input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED</p> <p>This proposal allows for future connections via the proposed reserve and the eastern unnamed road to connect to Ebdon Street for pedestrian and cycling network opportunities into the future.</p> <p>Integration to Wedge Street from the site is informal within the existing road reserve. Upon traversing Wedge Street bridge (Post Office Creek) in a southerly direction, Lavender Street provides for connectivity to the broader network of footpaths.</p> <p>Walkability from the site has been assessed via walkscore.com and demonstrates areas which can be accessed within a 20-minute walk from the site, see figure below.</p> 
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<p>Standard C17 Clause 56.06-4 Neighbourhood street network objective</p>	<p><input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED</p> <p>The design and construction of street carriageways and verges will ensure that traffic speeds provide an accessible and safe neighbourhood street system.</p>
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<p>Standard C18 Clause 56.06-5 Walking and cycling network detail objectives</p>	<p><input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED</p> <p>All proposed roads to be constructed will be in accordance with Infrastructure Design Manual standards as recommended within the Traffic Report completed and submitted as part of the application. The construction of the roads will also include footpaths to be constructed on one side as recommended within the Traffic Report and as per IDM standard.</p>
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The traffic report has recognised the Kyneton Structure plan and has considered adjacent land identified for future development. The report has considered the future linkages identified by walking and cycling networks and the proposed layout of the Development Plan allows for future connectivity.



Standard C19 Clause 56.06-6 Public transport network detail objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	The Kyneton town bus service has an existing stop approximately 300 metres from the subject site, this service provides passengers with access to the northern portion of Kyneton and travel to the Kyneton Railway Station.	
Standard C20 Clause 56.06-7 Neighbourhood street network detail objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	<p>The design and construction of street carriageways and verges will ensure that traffic speeds provide an accessible and safe neighbourhood street network. All street lengths are less than 240m. All streets will be designed and constructed in accordance with Council's Infrastructure construction policy and IDM, as per the recommendations of the Traffic Report submitted with this application.</p> <p>The proposed internal court bowl will have a road reserve width of 16m with the provision for a court bowl at the southern end. This will allow for emergency and service vehicles turning around.</p> <p>The unmade road to the north and Powlett Street to the East would be considered an Access Street level. Both roads currently not constructed, have a road reservation of approximately 20m and will be constructed in accordance with the relevant standards of Council including footpaths where required.</p>	
Standard C21 Clause 56.06-8 Lot access objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	Safe vehicle access has been considered in accordance with the standard. All lots will have a vehicle cross over constructed in accordance with Council relevant standards and the location for each crossover is shown on the proposed lot layout plan which forms part of this application.	
Standard C22 Clause 56.07-1 Drinking water supply objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	The newly created allotments will be connected to the existing town water supply, which is of a suitable standard for drinking. Connection works will be undertaken in accordance with the relevant authority's standards and conditions.	
Standard C23 Clause 56.07-2 Reused and recycled water objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED	<input checked="" type="checkbox"/> OBJECTIVE ACHIEVED
	The proposed Development Plan as submitted with this application contains a Servicing Report for the site. The Service Report identifies that reticulated water is available for the site and will be connected as part of the development. There is currently no recycled water network system available to the site. Future dwellings will be encouraged to install a rainwater tank for flushing of toilets, watering of gardens etc.	



Standard C24 Clause 56.07-3 Wastewater management objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED All lots will be connected to reticulated services and will be provided to the boundary of each lot.
Standard C25 Clause 56.07-4 Stormwater management objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED A Stormwater Management Strategy has been prepared for the site and forms part of this application. Section 3 of the Stormwater Management Strategy outlines in detail the design intent, stormwater management, water sensitive urban design and flood management. It is considered that the strategy has considered all matters, has informed the proposed design and complies with the objective.
Standard C26 56.08-1 Site management objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED The site will be managed during the construction phase in accordance with Council's requirements. Management measures on the site during subdivision may include sediment barriers and traps, retention and protection of some existing vegetation, placement of stockpiles and earthworks and limitation of the number of access points. It is expected, at the time of an application for subdivision, a Management Plan will be required in accordance with the relevant standards.
Standard C27 Clause 56.09-1 Shared trenching objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED Shared trenching will be utilised wherever possible in accordance with relevant standards.
Standard C28 Clause 56.09-2 Electricity, telecommunications and gas objectives	<input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED The new allotments will be connected to the Victorian Electricity grid, telecommunications network and natural gas supply. These connections will be from existing infrastructure in proximity to the site, and to the satisfaction of the responsible authorities
Standard C29 Clause 56.09-3 Fire hydrants objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED All hydrants will be installed as per the servicing report and to the standard of the relevant authority.
Standard C30 Clause 56.09-4 Public lighting objective	<input checked="" type="checkbox"/> STANDARD ACHIEVED <input checked="" type="checkbox"/> OBJECTIVE ACHIEVED Street lighting will be installed to meet the relevant Australian Standards and increase the safety and surveillance to area at night. The positioning of the streetlights will be indicated an electrical plan, which is anticipated to form part of future Planning Permit conditions.



6. CONCLUSION

The proposed Development Plan for 88A-90 Wedge Street, Kyneton accords with the objectives of Settlement, Built Environment, Housing and Infrastructure as stated in the Planning Policy Framework of the Macedon Ranges Planning Scheme.

The subject site can be readily serviced and provides for infill opportunities to supplement the supply of housing in Kyneton, while responding to growth pressures.

The Development Plan as submitted for Council consideration and approval, has been informed by all relevant strategic documents adopted by Council and the Macedon Ranges Planning Scheme. Furthermore, all relevant studies have been completed to ensure that the site can respond to the requirements for all necessary infrastructure.

The proposed Development Plan is commended to Council and on behalf of our client, we look forward to a positive outcome from this application to enable progression of the submission for a Planning Permit Application for approval of an eighteen (18) lot subdivision.



APPENDIX 1 – TITLES



APPENDIX 2 – ENVIRONMENTAL AUDIT – LETTER OF PROGRESS



APPENDIX 3 – CHMP – LETTER OF PROGRESS



APPENDIX 4 – SITE CONTEXT PLAN



APPENDIX 5 – FEATURE LEVEL SURVEY



APPENDIX 6 – PROPOSED PLAN OF SUBDIVISION



APPENDIX 7 – BUILDING ENVELOPE PLAN



APPENDIX 8 – LANDSCAPE PLAN



APPENDIX 9 – FUNCTIONAL LAYOUT PLAN



APPENDIX 10 – ENVIRONMENTAL MANAGEMENT PLAN



APPENDIX 11 – STORMWATER MANAGEMENT STRATEGY



APPENDIX 12 – TRAFFIC REPORT



APPENDIX 13 – ACOUSTIC REPORT



APPENDIX 14 – ARBORICULTURAL ASSESSMENT



APPENDIX 15 – ECOLOGY ASSESSMENT



APPENDIX 16 – PRELIMINARY SERVICING REPORT